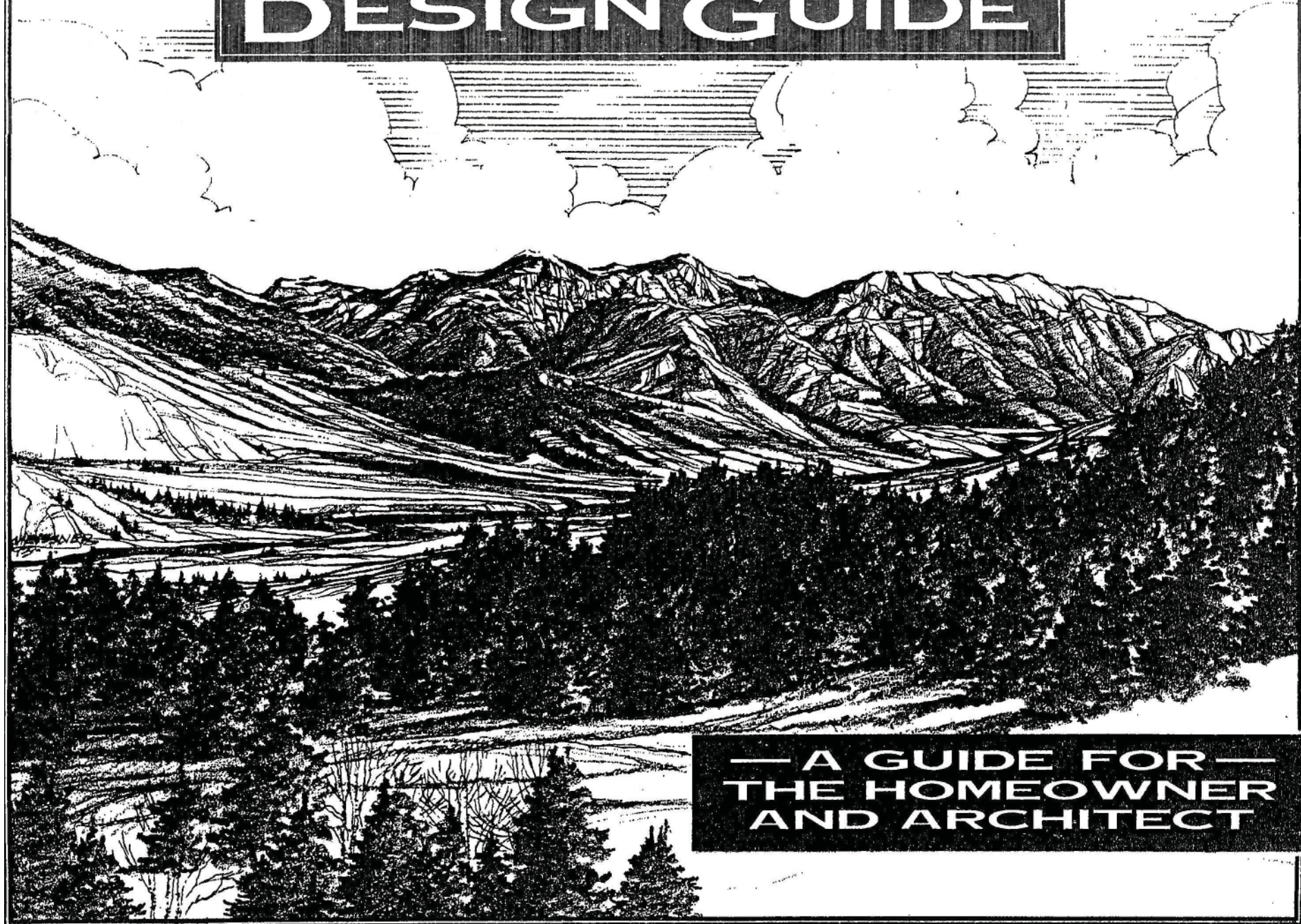


# SUN WEST RANCH DESIGN GUIDE



— A GUIDE FOR —  
THE HOMEOWNER  
AND ARCHITECT

## WELCOME TO SUN WEST RANCH

THE SUN WEST RANCH ARCHITECTURAL REVIEW COMMITTEE (ARC) WOULD LIKE TO WELCOME YOU TO THE SUN WEST RANCH. THIS MANUAL HAS BEEN ASSEMBLED BY THE ARC TO ASSIST YOU, YOUR ARCHITECT AND BUILDER IN MAKING SUN WEST RANCH AN INTEGRAL PART OF YOUR LIFE. THIS MANUAL, ALSO KNOWN AS THE DESIGN REVIEW GUIDE OR DRG, DESCRIBES THE DESIGN REVIEW GUIDELINES AND MANDATORY REQUIREMENTS RELATING TO THE DESIGN REVIEW PROCESS FOR THE CONSTRUCTION OF YOUR HOME AT SUN WEST RANCH.

ALTHOUGH THE DESIGN OF YOUR HOME MUST BE APPROVED BY THE ARC, WHICH IS A COMMITTEE OF THREE SUN WEST RANCH PROPERTY OWNERS, NEITHER THE ARC NOR THE SUN WEST RANCH PROPERTY OWNERS ASSOCIATION (SWRPOA) SHALL INCUR ANY LIABILITY OR DAMAGES RELATING TO OR ARISING FROM ANY DESIGN DEFECT OR CONSTRUCTION DEFECT IN YOUR HOME OR THE NEGLIGENT CONSTRUCTION OF YOUR HOME. THE MEMBERS OF THE ARC ARE NOT REVIEWING THE MATERIALS SUBMITTED AS RETAINED PROFESSIONAL ARCHITECTS OR ENGINEERS.

EACH PARCEL OF LAND IS AS UNIQUE AND DIFFERENT AS THE DESIRES AND PERSONALITY OF OUR PROSPECTIVE OWNERS. THE ARC RESPECTS THIS UNIQUE EXPRESSION PROVIDING IT IS HARMONIOUS TO THE OVERALL PLAN OF THE DEVELOPING COMMUNITY. THOUGHTFUL DEVELOPMENT COUPLED WITH AN AWARENESS OF OUR SURROUNDING ENVIRONMENT IS THE SINGLE MOST IMPORTANT CONCERN AND RESPONSIBILITY OF THE ARC.

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## MANDATORY REQUIREMENTS

- 2000 SQUARE FEET - MINIMUM SQUARE FOOTAGE REQUIRED OF RESIDENTIAL LIVING AREA
- 3500 GALLON CISTERN - MINIMUM CAPACITY REQUIRED
- 22 FEET - MAXIMUM HEIGHT ALLOWED FOR ONE STORY HOME
- 28 FEET - MAXIMUM HEIGHT ALLOWED FOR TWO STORY HOME
- ALL HOMES MUST HAVE FIRE RETARDANT ROOFS
- A GRADING AND DRAINAGE PLAN MUST BE PREPARED BY A LICENSED ENGINEER FOR EACH LOT, HOME SITE AND ROAD
- ALL CONSTRUCTION AND LANDSCAPING PROJECTS MUST BE COMPLETED WITHIN 2 YEARS
- ALL HOMES MUST BE 100' FROM MAIN ROADS

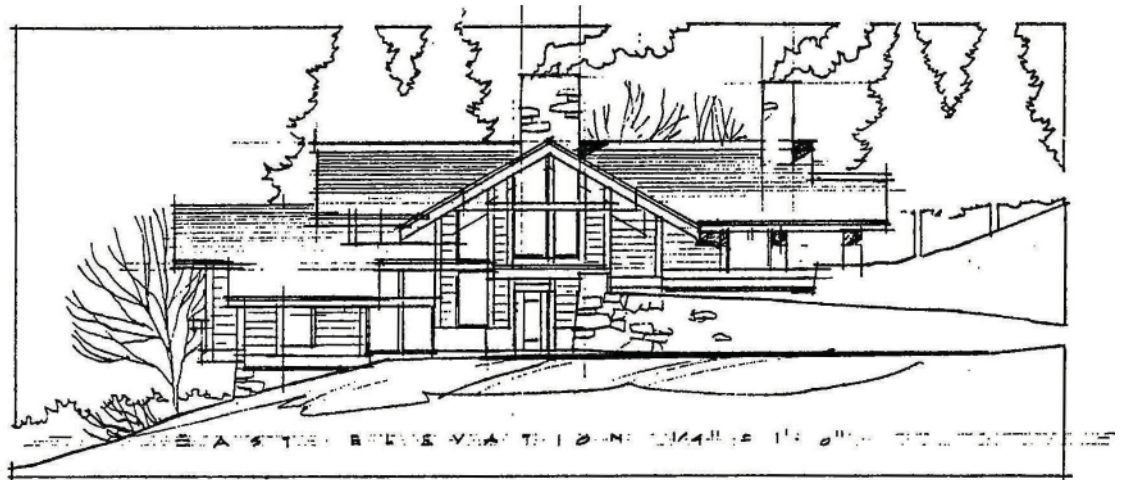
## PLANNING YOUR NEW HOME

THE SUN WEST RANCH DESIGN REVIEW GUIDE HAS BEEN PREPARED TO PROVIDE GUIDANCE AND DIRECTION TO THE HOME SITE OWNER AND TO AID IN YOUR UNDERSTANDING OF THE ARCHITECTURAL STANDARDS AND BUILDING PERMIT PROCEDURES. IT WILL BE UPDATED AND MODIFIED TO KEEP PACE WITH NEW TECHNOLOGICAL ADVANCES AS WELL AS THE CHANGING NEEDS AND DESIRES OF THE SUN WEST RANCH PROPERTY OWNERS.

THE DESIGN REVIEW GUIDE WILL BE A VALUABLE REFERENCE IN MAKING THE PLANNING PROCESS STRAIGHTFORWARD AND REWARDING.

OUR INTENT IS TO INSURE THE PRESERVATION OF THE NATURAL BEAUTY AND BALANCE OF THE SITE AND MAINTAIN THE HIGH LEVEL OF QUALITY THAT HAS BEEN ESTABLISHED AS THE STANDARD THROUGHOUT SUN WEST RANCH. ENSURING THAT YOU AND YOUR DESIGN PROFESSIONALS HAVE A THOROUGH UNDERSTANDING OF THE DESIGN REVIEW GUIDELINES (DRG) WILL ASSIST IN ASSURING THAT THE DESIGN PROCESS IS SMOOTH.

THE RETENTION OF A LICENSED ARCHITECT IS OF UTMOST IMPORTANCE TO THE PROCESS AND IS REQUIRED FOR ALL OWNERS IN ALL DEVELOPMENT AT THE RANCH.

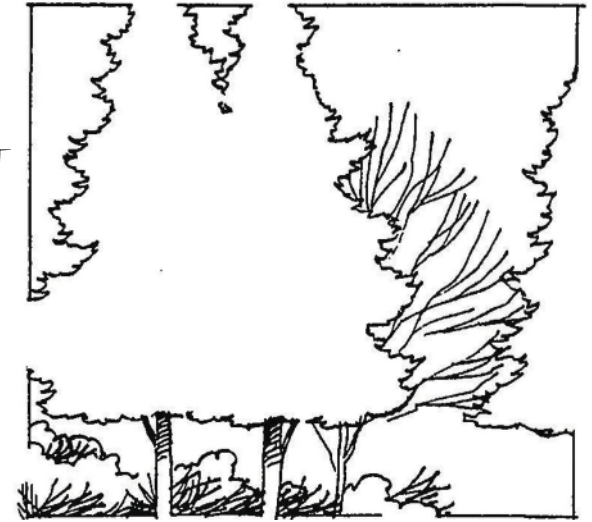


# THE DESIGN, REVIEW AND CONSTRUCTION PROCESS

## 1. PRE-DESIGN

### • **KNOW SUN WEST RANCH**

ACQUAINT YOURSELF WITH THE SPIRIT OF THE RANCH, VISIT YOUR NEW HOME SITE. READ THE DESIGN REVIEW GUIDE AND UNDERSTAND HOW IT WILL HELP YOU LEARN ABOUT THE SITE AND PLAN YOUR NEW HOME.



### • **CHOOSE YOUR CONSULTANTS**

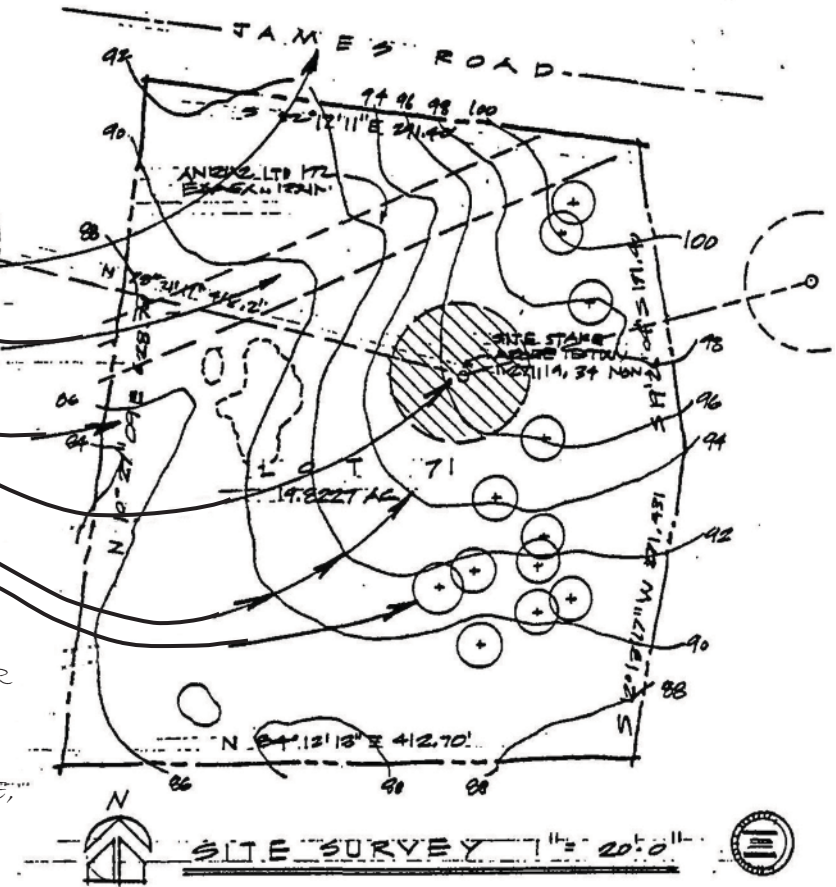
SELECT AND RETAIN YOUR PROFESSIONAL CONSULTANTS. YOU WILL NEED AN ARCHITECT, A SURVEYOR, AND A SOILS ENGINEER. YOU MUST RETAIN A SURVEYOR IMMEDIATELY TO PREPARE A DETAILED TOPOGRAPHIC MAP (SEE NEXT SECTION). THE ARCHITECT WILL NEED A DETAILED TOPOGRAPHIC MAP TO START PLANNING & DESIGN. THE SOONER YOU SELECT AN ARCHITECT, THE GREATER HIS OR HER CONTRIBUTION WILL BE. AT SOME POINT EARLY IN THE DESIGN PROCESS YOU MUST RETAIN A QUALIFIED SOILS ENGINEER TO TAKE BORINGS AND MAKE A SOILS REPORT, WHICH IS NECESSARY FOR THE ARCHITECT TO PREPARE THE ARCHITECT'S FOUNDATION DESIGN.

**NOTE:** BE SURE THAT ALL OF YOUR CONSULTANTS READ THE DESIGN GUIDE AND PARTICULARLY THE SECTIONS WHICH WILL AFFECT THEIR SERVICES.

## • OBTAIN A SITE SURVEY

A COMPLETED SITE SURVEY WILL INCLUDE THE FOLLOWING ITEMS:

- SHOW ALL EXISTING ROADS, UTILITIES, AND OTHER IMPROVEMENTS
- INDICATE ANY EASEMENTS OR SETBACKS OF ANY KIND
- GIVE BEARINGS AND DISTANCE OF ALL PROPERTY LINES
- SHOW THE CENTER STAKE LOCATION & ELEVATION OF THE DESIGNATED RESIDENTIAL AREA
- SHOW ALL CONTOURS AT MAXIMUM 1' INTERVALS. AS SPECIAL CONDITIONS REQUIRE, CONSULT YOUR ARCHITECT
- SHOW ACTUAL PRECISE LOCATION OF ALL TREES WITH 4" TRUNKS OR GREATER AND ALL STANDS OF ASPEN OR OTHER SPECIES
- SHOW ALL OTHER SITE FEATURES SUCH AS ROCK OUTCROPS OR DRAINAGE STRUCTURES
- SHOW TRUE NORTH AND DO DRAWING AT 1"=20'-0"
- INCLUDE NAME OF LEGAL OWNERS AND NAME, ADDRESS, PHONE, NUMBER AND LICENSE NUMBER OF SURVEYOR



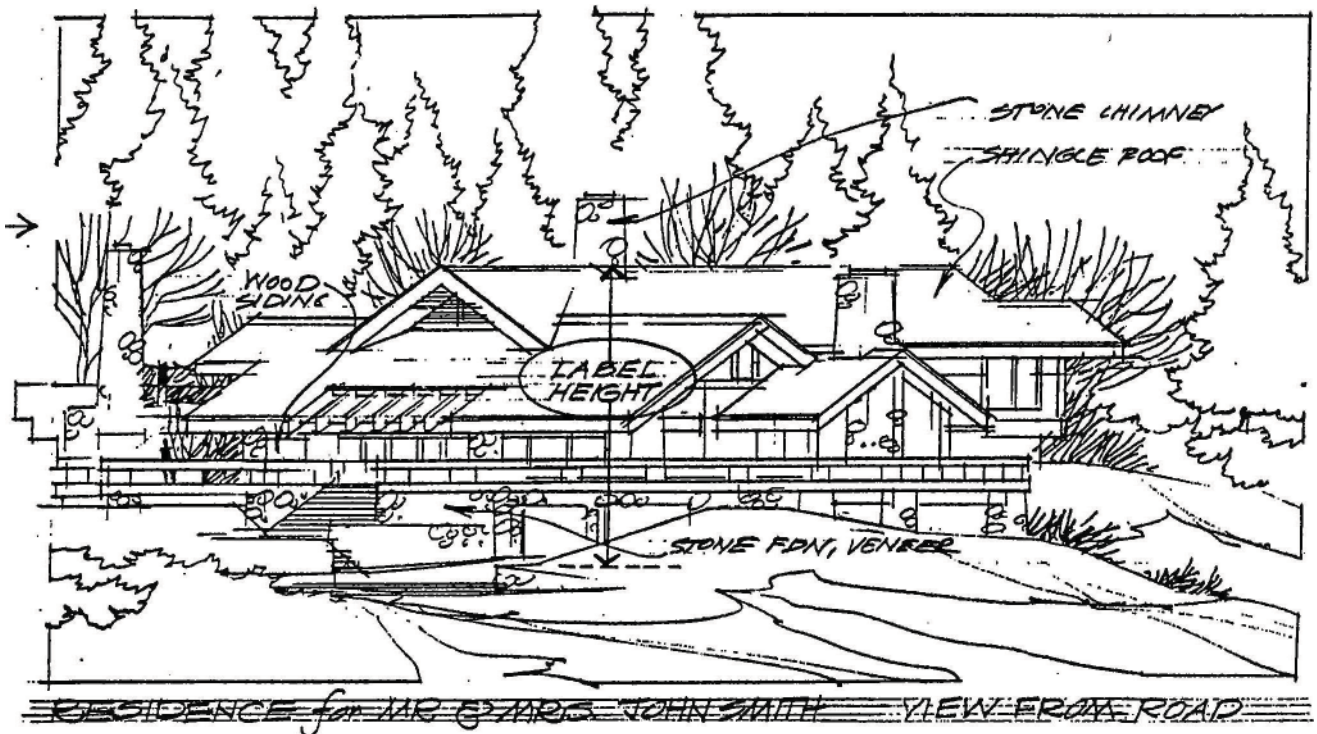
A COMPLETE SURVEY IS AN ESSENTIAL, FUNCTIONAL PREREQUISITE FOR BEGINNING THE DESIGN OF YOUR NEW HOME AND WILL BE REQUIRED AT THE FIRST DESIGN REVIEW. FOR YOUR PROTECTION AND TO PRESERVE THE UNIQUE FEATURES OF THE SITE, IT IS ESSENTIAL THAT THE SURVEY CONTAIN THE ABOVE INFORMATION.



## 2. CONCEPTUAL DESIGN APPLICATION

IN THE EARLY DESIGN OF YOUR NEW HOUSE, HAVE YOUR ARCHITECT PRODUCE AN ILLUSTRATION SHOWING THE DESIGN IMAGE OF THE HOUSE AND HOW THE HOUSE WILL APPEAR ON THE SITE. IT WILL BE HELPFUL TO:

24" X 36" MINIMUM DRAWING SIZE →



- DRAW OR ILLUSTRATE THE MOST PROMINENT AND DESCRIPTIVE VIEW, IT IS HELPFUL IN ACHIEVING A TRUE REPRESENTATION. YOUR ARCHITECT MAY ELECT TO SKETCH FROM A PHOTOGRAPH TAKEN FROM THE APPROPRIATE ANGLE.
- SHOW ALL MAJOR EXISTING SITE FEATURES AND TOPOGRAPHY, TREES, ROCKS, ETC.
- MAINTAIN SCALE RELATIVE TO SURROUNDINGS, I.E. HEIGHT OF ROOF AND TREES, ETC.
- LABEL MAJOR BUILDING MATERIALS, I.E. ROOFING, SIDING, MASONRY, ETC.
- CLEARLY SHOW ANY SPECIAL ARCHITECTURAL ELEMENTS SUCH AS SOLAR COLLECTORS, ETC.
- DRAWINGS CAN BE IN ANY MEDIUM, BUT MUST BE CLEARLY LABELED WITH ALL PERTINENT INFORMATION; LOT NO., DATE, NAME, ADDRESS & PHONE NUMBER OF OWNER & ARCHITECT.

**REQUIRED SUBMITTALS:**

5 HARD COPIES AND AN ELECTRONIC PDF FILE OF EACH OF THE FOLLOWING DRAWINGS SHOULD BE SUBMITTED TO THE ARC:

- 24"X36" CONCEPTUAL SKETCH WITH ARCHITECT'S NAME AND PHONE NUMBER
- SITE SURVEY
- SITE PLAN - INDICATING ALL PROPOSED CHANGES TO THE EXISTING SITE INCLUDING GRADING, TREE REMOVAL OR TRANSPLANTING OR ALTERATION TO ANY OTHER NATURAL FEATURE

**DESIGN REVIEW FEE:**

A FEE OF \$5,000 WILL BE REQUIRED FOR REVIEW SUBMITTALS, THIS ONE - TIME FEE SHALL COVER ALL THE STEPS OF DESIGN REVIEW THROUGH COMPLETION OF CONSTRUCTION.

UPON APPROVAL ONE COPY OF THE SUBMITTAL WILL BE STAMPED, DATED AND RETURNED TO YOU.

THE FEE MAY BE INCREASED IF EXCESSIVE RE-SUBMITTALS ARE NECESSARY TO COMPLY WITH DESIGN REVIEW GUIDELINES.

### 3. CONCEPTUAL DESIGN REVIEW

THIS IMPORTANT EARLY REVIEW OF YOUR DESIGN IDEAS BY THE ARC WILL CONFIRM YOUR CORRECT ANALYSIS OF THE LAND USE CLASSIFICATION FOR YOUR SITE AND ASSESS THE APPROPRIATENESS OF THE DESIGN CONCEPT TO ITS SURROUNDINGS AND NEIGHBORS AND ITS SUCCESS IN ACHIEVING THE QUALITY DESIGN STANDARDS FOR THE RANCH.

THIS STEP IS ESPECIALLY VALUABLE IN AVERTING EXCESSIVE COST IN FEES AND LOST TIME IF A DESIGN CONCEPT HAS DEVIATED FROM THE DESIGN STANDARDS HEREIN OR IS IN CONFLICT WITH THE INTERESTS OF ITS NEIGHBORS & SURROUNDINGS.

THIS REVIEW IS INTENDED TO AID YOU IN EFFICIENTLY DEVELOPING YOUR NEW HOME TO THE HIGH STANDARDS AT SUN WEST RANCH, AND IS REQUIRED FOR ALL IMPROVEMENTS ON THE RANCH, INCLUDING BUT NOT LIMITED TO:

- HOUSES AND ACCESSORY BUILDINGS
- DECKS, TERRACES, WALLS, FENCES, WALKS, PAVING OR ANY OTHER MAN-MADE STRUCTURES
- LANDSCAPING WHICH COULD ULTIMATELY GROW OVER 3 FEET IN HEIGHT
- ANY LAND ALTERATION - GRADING, EXCAVATION, DRAINAGE, BERMS, TREE REMOVAL OR ANY VISIBLE ALTERATION

THE ARC WILL RESPOND IN WRITING WITHIN 45 DAYS AFTER APPLICATION HAS BEEN RECEIVED, PROVIDED THE SUBMITTAL IS DEEMED

COMPLETE (SEE REQUIRED SUBMITTALS).

#### 4. PRELIMINARY DESIGN APPLICATION

UPON APPROVAL OF YOUR CONCEPTUAL SUBMITTAL BY THE ARC, PROCEED WITH YOUR ARCHITECT THROUGH "PRELIMINARIES" OR THE DESIGN DEVELOPMENT PHASE OF THEIR SERVICES.

THESE PRELIMINARY, BUT ACCURATE, DRAWINGS SHOULD DESCRIBE, IN DETAIL, THE PHYSICAL FORM AND SIZE OF THE HOUSE AND INCLUDE SOME DETAILING AND DESCRIPTION OF MATERIALS.

THE SITE PLAN SHOULD BE FINALIZED AND ALL DESIGN WORK COMPLETED IN PREPARATION FOR THE FINAL CONSTRUCTION DOCUMENTS.

#### REQUIRED SUBMITTALS:

5 HARD COPIES AND AN ELECTRONIC PDF FILE OF EACH OF THE FOLLOWING DRAWINGS SHOULD BE SUBMITTED TO THE ARC:

- SITE SURVEY
- SITE PLAN - SHOWING ALL IMPROVEMENTS AND CHANGES TO EXISTING FEATURES - I.E. GRADING, TREE REMOVAL, ORIENTATION AND LOCATION OF THE NEIGHBORS
- BUILDING PLANS -  $\frac{1}{4}$ " SCALE
- ELEVATIONS: ALL SIDES, SCALE  $\frac{1}{4}$ " = 1'-0"
- SECTIONS AND DETAILS
- ROOF PLAN
- SAMPLE BOARD - SHOWING ACTUAL SAMPLES OF MAJOR MATERIALS, FINISHES, AND COLORS
- A NARRATIVE DETAILING ALL DEVIATIONS/ALTERATIONS FROM THE CONCEPTUAL SUBMITTAL

## 5. PRELIMINARY DESIGN REVIEW

THE PRELIMINARY DRAWINGS WILL BE REVIEWED FOR COMPLIANCE WITH THE CONCEPTUAL SUBMITTAL.

THE SITE PLAN WILL BE REVIEWED CLOSELY FOR COMPLIANCE WITH THE LAND USE CLASSIFICATION REQUIREMENTS AS DESCRIBED IN THIS GUIDE.

THE SUBMITTAL FOR THE PRELIMINARY DESIGN REVIEW IS A LOGICAL AND DIRECT DEVELOPMENT OF THE APPROVED CONCEPTUAL DRAWINGS. IN THE EVENT THAT THE DESIGN VARIES SUBSTANTIALLY FROM THE CONCEPTUAL DRAWINGS OR VIOLATES ANY OF THE DESIGN STANDARDS, THE ARC WILL DISAPPROVE THE PRELIMINARY DRAWINGS AND A REVISED SUBMITTAL WILL BE REQUIRED. CONSTRUCTION PLANS WILL FOLLOW PRELIMINARY PLAN APPROVAL.

THE ARC WILL RESPOND IN WRITING WITHIN 45 DAYS AFTER APPLICATION HAS BEEN RECEIVED, PROVIDED THE SUBMITTAL IS DEEMED COMPLETE (SEE REQUIRED SUBMITTALS).

## **6. CONSTRUCTION DOCUMENT APPLICATION**

UPON COMPLETION OF THE CONSTRUCTION DOCUMENTS, INCLUDING DRAWINGS AND SPECIFICATIONS, FINAL APPLICATION MAY BE MADE TO THE ARC TO VERIFY FOR COMPLIANCE WITH THE PRELIMINARY DRAWING SUBMITTAL AND THE DESIGN STANDARDS OF SUN WEST RANCH.

CONSTRUCTION DOCUMENTS ARE THOSE USED FOR THE CONSTRUCTION AND ARE PRECISE, DETAILED DRAWINGS WHICH ARE DEVELOPED FROM THE PRELIMINARIES; INCLUDING PLANS, ELEVATIONS, SECTIONS, DETAILS, SCHEDULES, AND SPECIFICATIONS.

### **REQUIRED SUBMITTALS:**

5 COPIES AND AN ELECTRONIC PDF FILE OF EACH OF THE FOLLOWING DRAWINGS SHOULD BE SUBMITTED TO THE ARC:

- STAMPED ARCHITECTURAL DRAWINGS AND SPECIFICATIONS
- STAMPED ENGINEERED GRADING AND DRAINAGE PLAN
- UPDATED SAMPLE BOARDS
- A TIME SCHEDULE INDICATING STARTING & COMPLETION DATES OF CONSTRUCTION, COMPLETION OF LANDSCAPING & ANTICIPATED OCCUPANCY DATE
- A NARRATIVE DETAILING ALL DEVIATIONS/ALTERATIONS FROM THE PRELIMINARY SUBMITTAL

ALL DRAWINGS AND DOCUMENTS MUST BE RECEIVED AND FINAL APPROVAL MUST BE GRANTED BY THE ARC BEFORE YOUR APPLICATION IS SUBMITTED TO THE COUNTY FOR A LAND USE AND SEPTIC PERMIT.

THE ARC WILL RESPOND IN WRITING WITHIN 45 DAYS OR LESS AFTER APPLICATION HAS BEEN RECEIVED, PROVIDED THE SUBMITTAL IS DEEMED COMPLETE (SEE REQUIRED SUBMITTALS).

## 7. LAND USE / SEPTIC PERMIT / CONSTRUCTION

UPON APPROVAL BY THE ARC AND IN CONJUNCTION WITH RECEIPT OF THE REQUIRED FORMS TO THE SWRPOA; YOU MAY OBTAIN A LAND USE AND SEPTIC PERMIT FROM MADISON COUNTY.

MADISON COUNTY MAY REQUIRE SUBMITTAL OF CONSTRUCTION DOCUMENTS AND A FEE FOR CHECKING REQUIREMENTS AND OTHER GOVERNING CODES.

### **REQUIRED SUBMITTALS:**

FOLLOWING APPROVAL OF CONSTRUCTION DOCUMENTS, 2 COPIES OF EACH OF THE FOLLOWING FORMS SHALL BE SUBMITTED TO THE ARC:

- SIGNED CONFORMANCE AGREEMENT
- SIGNED CONTRACTOR RULES
- SIGNED COMPLETENESS / OCCUPANCY AGREEMENT
- LANDSCAPING BOND IN THE AMOUNT OF THE LANDSCAPING BID OR LETTER OF CREDIT AS SPECIFIED ON PAGE 20 OF THIS DRG

IT IS ULTIMATELY THE RESPONSIBILITY OF THE OWNER AND THE OWNER'S REPRESENTATIVES TO ENSURE THAT THE CONSTRUCTION IS DONE IN COMPLIANCE WITH CONSTRUCTION DOCUMENTS AND GOVERNING BUILDING CODES.

APPROVAL OF THE PLANS BY THE ARC RELATES SOLELY TO THE ARCHITECTURAL DESIGN SCHEME. NO REPRESENTATIONS ARE MADE NOR ANY RESPONSIBILITY ASSUMED BY THE ARC REGARDING THE STRUCTURAL QUALITY OR SOUNDNESS OF THE WORK PROPOSED OR THAT THE PLANS MEET LOCAL CODES OR LAWS MADE BY ANY GOVERNMENTAL AUTHORITY AFFECTING THE SITE OR PROJECT.

THE OWNER AND CONTRACTOR SHALL SUBMIT THE ATTACHED CONFORMANCE AGREEMENT, IN THE FORM SECTION OF THIS PACKAGE, TO THE SWRPOA PRIOR TO CONSTRUCTION. THE CONFORMANCE AGREEMENT STRICTLY PROHIBITS DEVIATIONS FROM ALL PREVIOUSLY SUBMITTED AND APPROVED PLANS. DEVIATIONS MAY RESULT IN FINES OR ULTIMATELY A STOP WORK ORDER FOR THE PROJECT.

THE CONTRACTOR, OWNER, AND OWNER'S REPRESENTATIVES SHALL PROVIDE A SIGNED AND COMPLETED ACKNOWLEDGEMENT OF THE CONTRACTOR'S RULES TO THE SWRPOA PRIOR TO CONSTRUCTION. THE OWNER IS RESPONSIBLE FOR ENSURING THE GENERAL CONTRACTOR SUBMITS SIGNED CONTRACTOR'S RULES FOR ALL SUB-CONTRACTORS PRIOR TO BEGINNING WORK. CONSTRUCTION OF YOUR NEW HOME MAY NOW BEGIN.

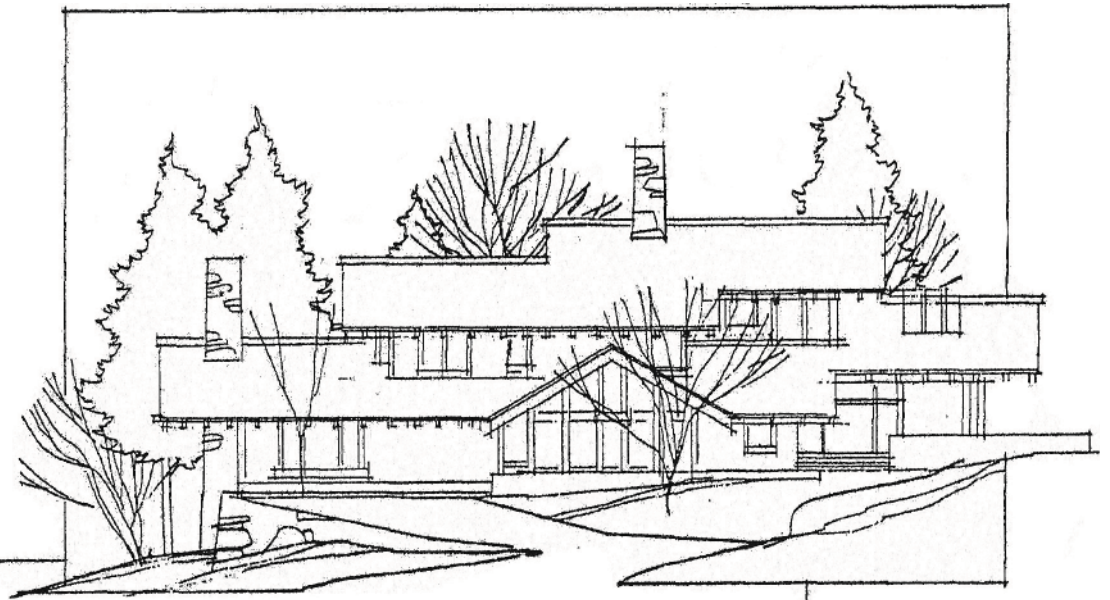
THE SUN WEST RANCH CONFORMANCE OFFICER (SWRCO) SHALL MAKE REGULARLY SCHEDULED SITE VISITS TO VERIFY CONFORMANCE WITH THE CONSTRUCTION DRAWINGS AND THE CONTRACTOR'S RULES. THE SWRCO SHALL HAVE UNOBSTRUCTED ACCESS TO ALL PROJECTS DURING NORMAL WORKING HOURS.

## **8. OCCUPANCY**

UPON COMPLETION OF ANY DWELLING OR OTHER IMPROVEMENT, INCLUDING LANDSCAPING, FOR WHICH FINAL APPROVAL WAS GIVEN BY THE ARC, THE OWNER SHALL GIVE WRITTEN NOTICE OF COMPLETION TO THE ARC.

IF THE PROJECT MEETS THE DESIGN GUIDELINES, THE ARC WILL ISSUE A CERTIFICATE OF OCCUPANCY BASED ON COMPLETION, ALLOWING THE STRUCTURE TO BE OCCUPIED. IN SPECIAL CIRCUMSTANCES, A PROVISIONAL CERTIFICATE OF OCCUPANCY MAY BE ISSUED IF CONSTRUCTION IS SUBSTANTIALLY COMPLETE. IN ORDER TO QUALIFY FOR A PROVISIONAL CERTIFICATE OF OCCUPANCY, THE OWNER WILL BE REQUIRED TO EXECUTE A PROVISIONAL CERTIFICATE OF OCCUPANCY PERMIT AGREEMENT WHICH PROVIDES EITHER (a) A JOINT ESCROW ACCOUNT WITH THE ARC IN WHICH THE OWNER WILL DEPOSIT FUNDS IN THE AMOUNT ESTIMATED TO COMPLETE THE PROJECT BY THE BUILDER AND/OR LANDSCAPER AS WELL AS A TIME LINE FOR COMPLETION THAT IS APPROVED BY THE ARC, OR (b) IN THE EVENT AN OWNER IS WORKING WITH A CONSTRUCTION LOAN, A LETTER FROM THE LENDER INDICATING FUNDS WILL BE HELD BY THE LENDER AND RELEASED ACCORDING TO THE PROVISIONS OF THE LOAN WHEN WORK IS COMPLETE. AS AN EXAMPLE, A PROVISIONAL CERTIFICATE OF OCCUPANCY MAY BE ISSUED DUE TO WINTER CONDITIONS PREVENTING LANDSCAPING BEING FINISHED UNTIL SPRING.





**ARCHITECTURAL  
GUIDELINES**

## MINIMUM HOME SIZE

THE REQUIRED MINIMUM HOME SIZE IS 2000 SQUARE FEET OF ENCLOSED FINISHED / LIVING SPACE, AS DEFINED IN THE DEFINITION SECTION OF THE DRG.

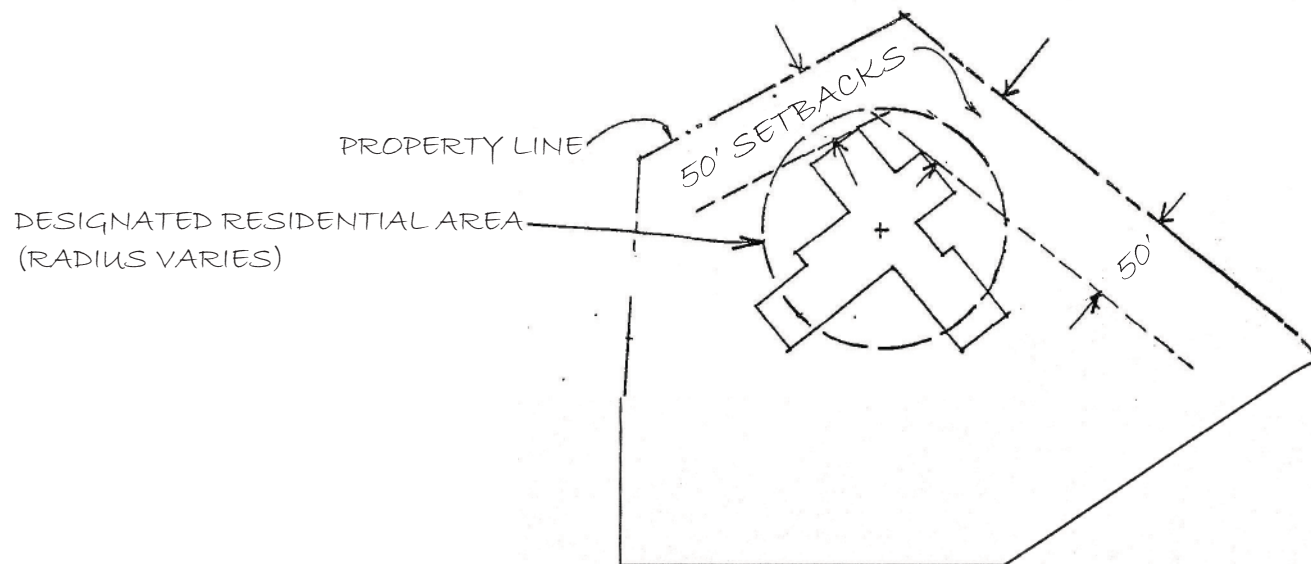
## BUILDING HEIGHT & PROFILE:

THE NUMBER OF STORIES AND THE PROFILE OF THE BUILDING SHARE AN IMPORTANT RELATIONSHIP WITH THE TERRAIN. MULTI-LEVEL DESIGNS MUST FOLLOW THE GENERAL SLOPE OF THE SITE. THE INTENT OF THIS GUIDELINE IS TO KEEP BUILDING HEIGHT AND PROFILE IN SCALE WITH SURROUNDING FEATURES.

## DESIGNATED BUILDING ENVELOPE:

NINETY PERCENT OF THE MAIN RESIDENCE MUST BE WITHIN THE DESIGNATED RESIDENTIAL AREA AS SELECTED BY THE DECLARANT. SUPPLEMENTAL BUILDINGS ARE DISCOURAGED, BUT MAY BE CONSIDERED OUTSIDE THE DESIGNATED RESIDENTIAL AREA WITH THE APPROVAL OF THE ARC.

THE MINIMUM SETBACK FROM ANY PROPERTY LINE TO ANY BUILDING IS 50 FEET OR AS APPROVED BY THE ARC.



## LOT TYPE & REQUIREMENTS

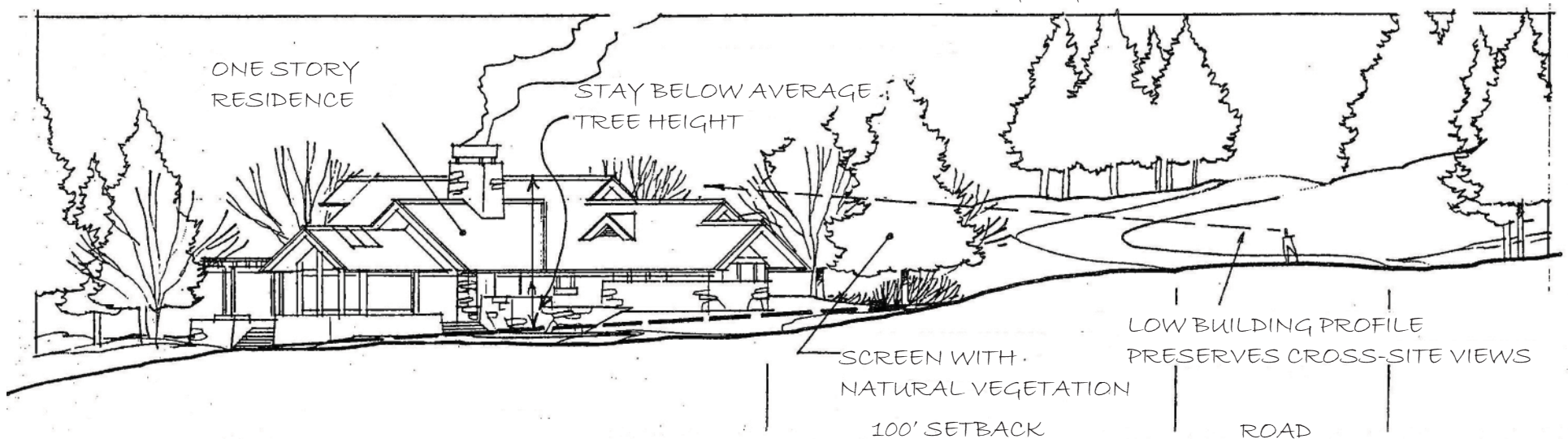
SUN WEST RANCH HAS A VARIETY OF DISTINCT HOME SITES ON WHICH TO BUILD. IN ORDER TO DEVELOP A COMPREHENSIVE CHARACTER ON THE RANCH WHICH EMPHASIZES THE NATURAL LANDSCAPE RATHER THAN THE HOMES BUILT ON IT, THE ARC HAS CAREFULLY REVIEWED EACH HOME SITE AND ESTABLISHED GUIDELINES FOR EACH TYPE OF LOT, AS REFERENCED ON PAGE 18. YOUR ARCHITECT SHOULD PAY PARTICULAR ATTENTION TO THESE GUIDELINES WHEN CONTEMPLATING THE DESIGN OF YOUR NEW HOME.

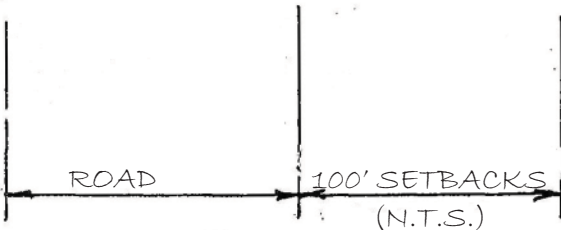
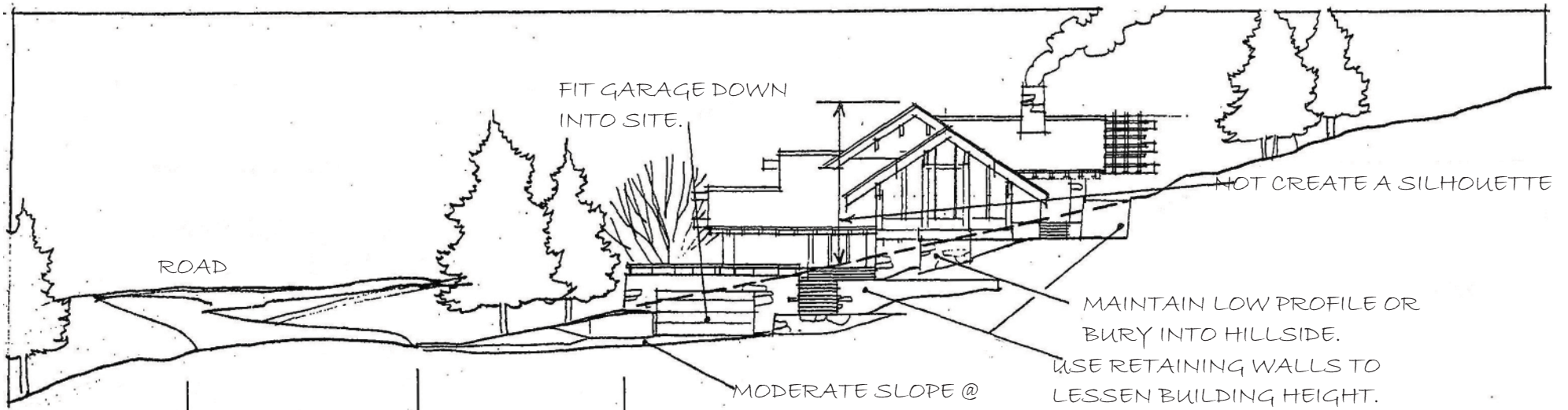
### RIDGE LINE / EXPOSED SITES

THOSE SITES WHICH ARE ON AN EXPOSED SITE OR RIDGE LINE SHALL RECEIVE ADDITIONAL SCRUTINY BY THE ARC AND MAY REQUIRE ADDITIONAL LANDSCAPING IN ORDER TO INSURE THAT THE NEW STRUCTURE DOES NOT BECOME THE DOMINANT FEATURE OF THE SITE.

### LOWER EXPOSED SITES - SHOULD

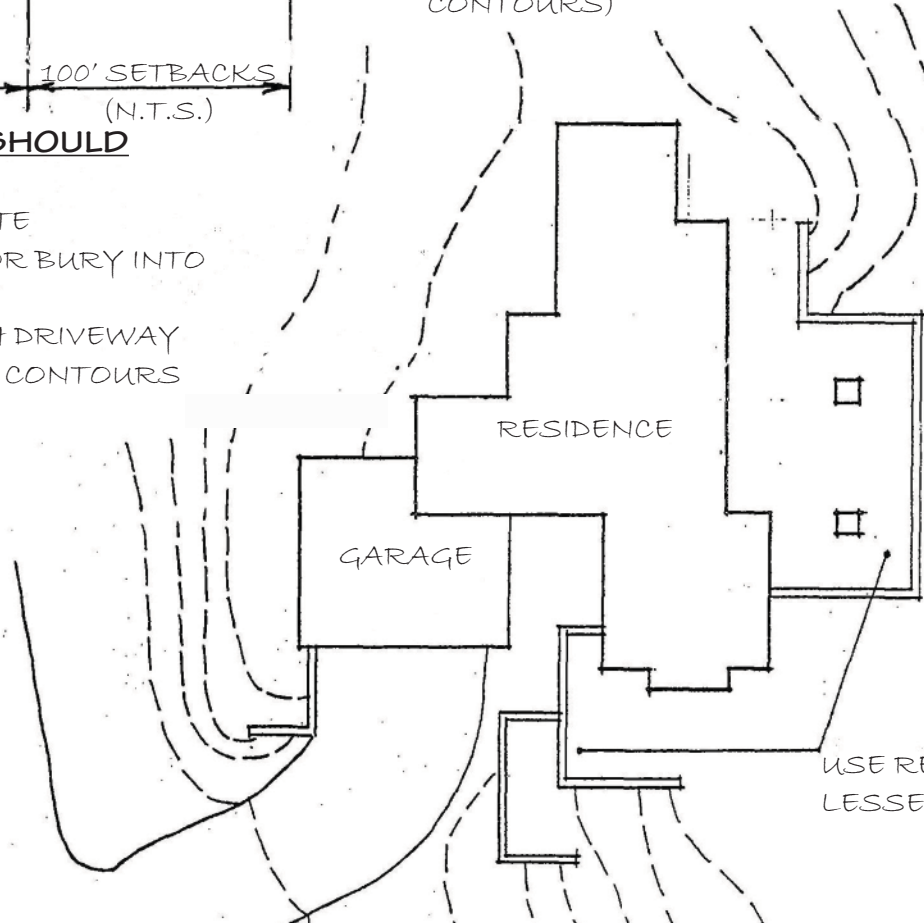
- PRESERVE NATURAL MEADOWS AND CLEARINGS
- PRESERVE NATURAL DRAINAGE FEATURES
- STAY BELOW AVERAGE TREE HEIGHT ON THE ENTIRE LOT
- BE SCREENED FROM ROAD WITH NATURAL VEGETATION
- MAXIMIZE USE OF EXISTING VEGETATION

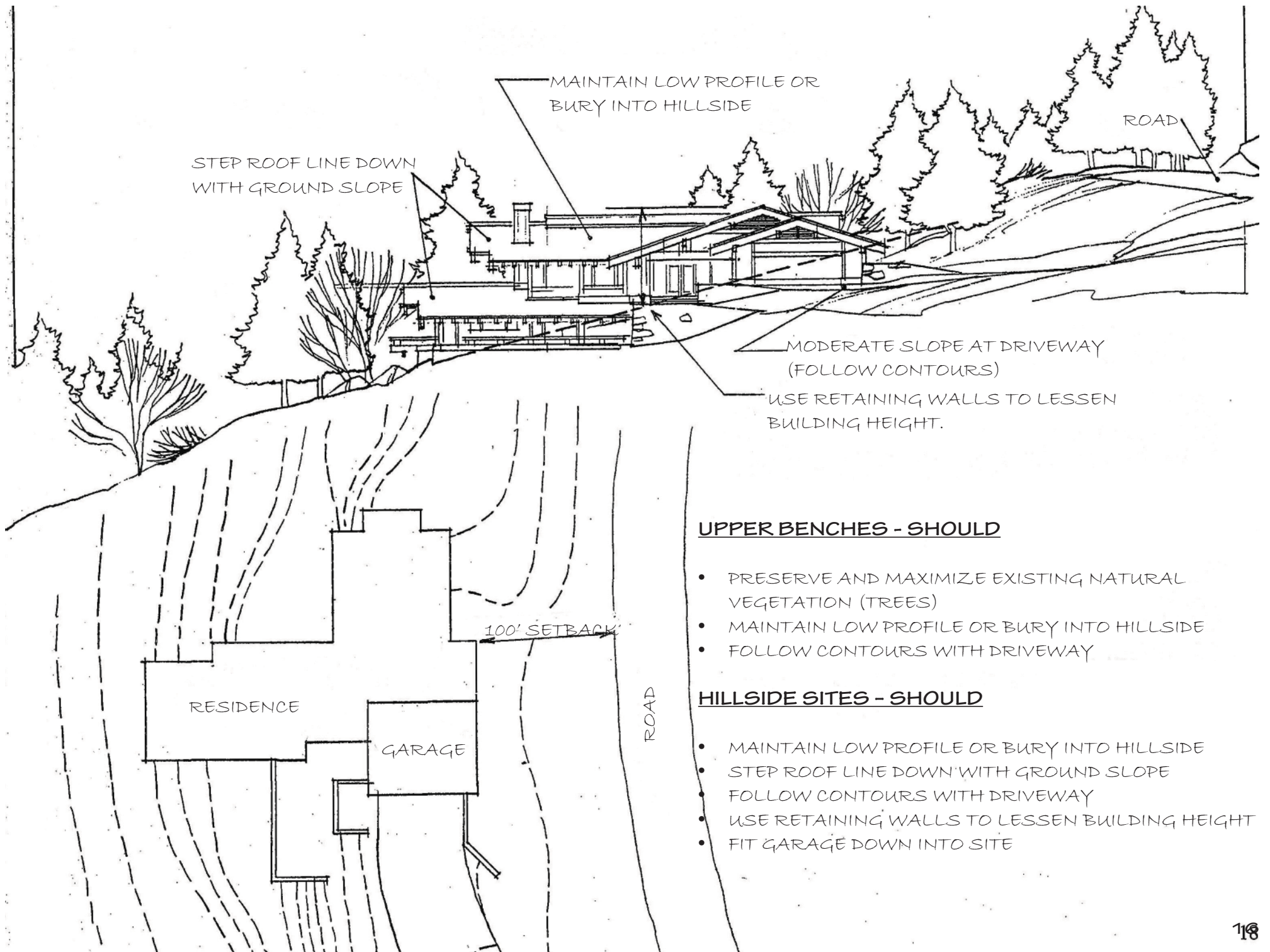




**UPPER SIDE HILL SITES- SHOULD**

- NOT CREATE A SILHOUETTE
- MAINTAIN LOW PROFILE OR BURY INTO HILLSIDE
- FOLLOW CONTOURS WITH DRIVEWAY
- MAINTAIN OPEN ROLLING CONTOURS





STEP ROOF LINE DOWN WITH GROUND SLOPE

MAINTAIN LOW PROFILE OR BURY INTO HILLSIDE

ROAD

MODERATE SLOPE AT DRIVEWAY (FOLLOW CONTOURS)

USE RETAINING WALLS TO LESSEN BUILDING HEIGHT.

100' SETBACK

RESIDENCE

GARAGE

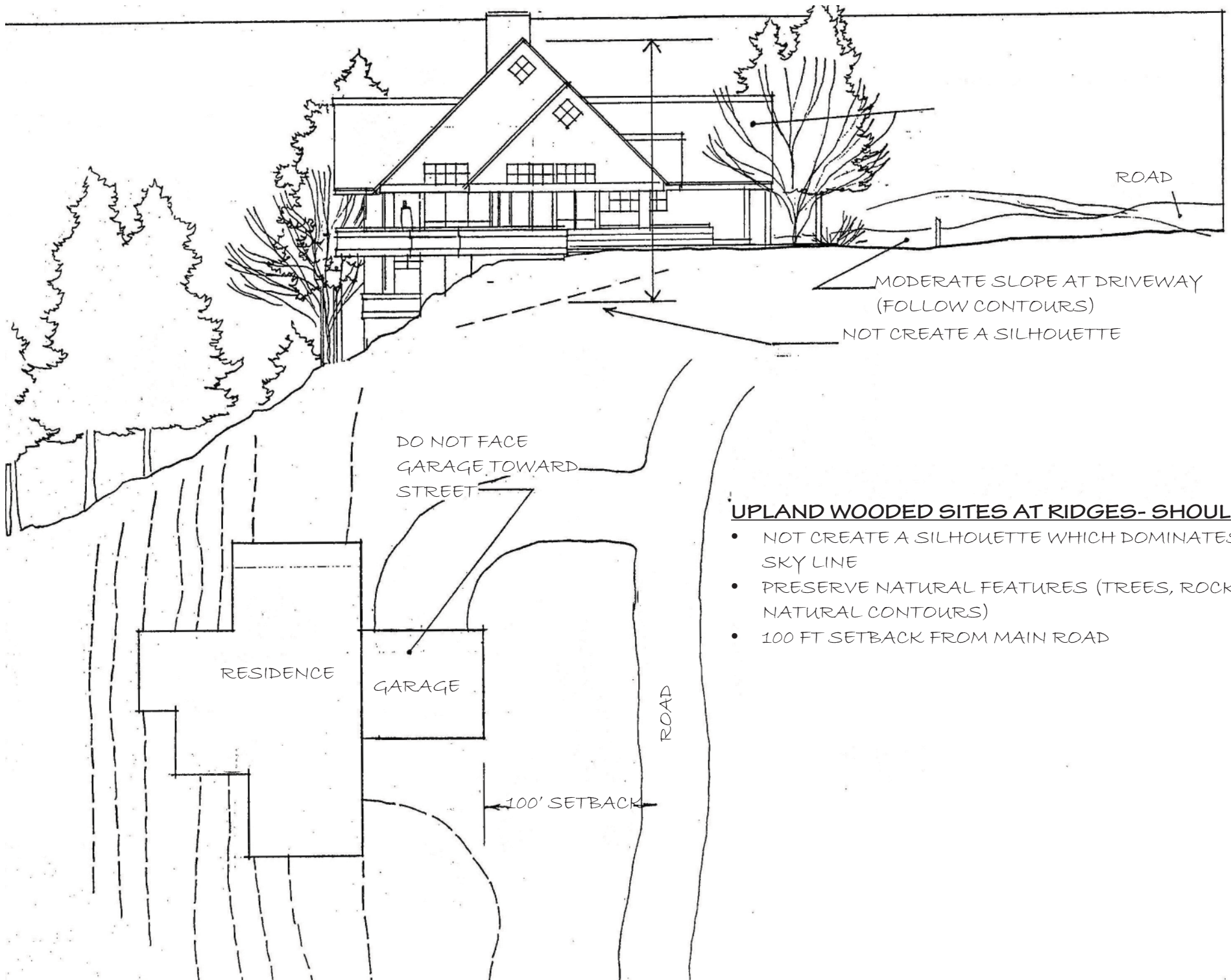
ROAD

**UPPER BENCHES - SHOULD**

- PRESERVE AND MAXIMIZE EXISTING NATURAL VEGETATION (TREES)
- MAINTAIN LOW PROFILE OR BURY INTO HILLSIDE
- FOLLOW CONTOURS WITH DRIVEWAY

**HILLSIDE SITES - SHOULD**

- MAINTAIN LOW PROFILE OR BURY INTO HILLSIDE
- STEP ROOF LINE DOWN WITH GROUND SLOPE
- FOLLOW CONTOURS WITH DRIVEWAY
- USE RETAINING WALLS TO LESSEN BUILDING HEIGHT
- FIT GARAGE DOWN INTO SITE



**UPLAND WOODED SITES AT RIDGES- SHOULD**

- NOT CREATE A SILHOUETTE WHICH DOMINATES THE SKY LINE
- PRESERVE NATURAL FEATURES (TREES, ROCK, NATURAL CONTOURS)
- 100 FT SETBACK FROM MAIN ROAD

• LOT INFORMATION

| LOT NO. | HOME-SITE RADIUS | 1 STORY* | 2 STORY* |
|---------|------------------|----------|----------|
| 1A      | 100'             | X***     |          |
| 2       | 100'             |          | 50%**    |
| 3       | 100'             | X        |          |
| 4       | 100'             |          | X        |
| 5       | 100'             |          | X        |
| 6       | 100'             | X        |          |
| 7       | 100'             | X        |          |
| 8       | 100'             |          | 50%**    |
| 9       | 100'             | X***     |          |
| 10      | 100'             | X***     |          |
| 11      | 100'             | X***     |          |
| 12      | 100'             | X        |          |
| 13      | 100'             | X        |          |
| 14      | 100'             |          | 50%**    |
| 15      | 100'             |          | X        |
| 16      | 100'             | X        |          |
| 17      | 100'             | X        |          |
| 18      | 100'             | X        |          |
| 19      | 100'             | X        |          |
| 20      | 100'             | X        |          |
| 21      | 100'             | X        |          |
| 22      | 100'             | X***     |          |
| 23      | 100'             | X        |          |
| 24A     | 100'             | X***     |          |
| 25      | 100'             | X***     |          |
| 26      | 100'             | X***     |          |

| LOT NO. | HOME-SITE RADIUS | 1 STORY* | 2 STORY* |
|---------|------------------|----------|----------|
| 27      | 100'             |          | X        |
| 28      | 100'             |          | X        |
| 29      | 100'             |          | X        |
| 30      | 125'             | X***     |          |
| 31      | 100'             |          | X        |
| 32      | 100'             | X        |          |
| 33      | 100'             |          | X        |
| 34      | 100'             | X***     |          |
| 35      | 100'             | X***     |          |
| 36      | 100'             | X***     |          |
| 37      | 100'             | X***     |          |
| 38      | 100'             | X***     |          |
| 39      | 100'             |          | X        |
| 40      | 100'             |          | X        |
| 41      | 100'             | X        |          |
| 42      | 100'             | X        |          |
| 43      | 100'             | X        |          |
| 44      | 100'             | X        |          |
| 45      | 100'             | X        |          |
| 46A     | 100'             | X        |          |
| 47      | 100'             |          | 50%**    |
| 48      | 100'             |          | 50%**    |
| 49      | 100'             |          | 50%**    |
| 50      | 100'             |          | 50%**    |
| 51      | 100'             |          | 50%**    |
| 52      | 100'             |          | X        |
| 53      | 100'             |          | X        |
| 54      | 125'             |          | X        |
| 55      | 125'             |          | X        |

\*THE RIDGE OF A ONE STORY HOUSE MAY NOT EXCEED 22' & A TWO STORY HOUSE MAY NOT EXCEED 28' IN HEIGHT. (SEE PAGES 14-17)

\*\*50% INDICATES THE 2ND STORY MAY NOT EXCEED 50% OF THE GROUND FLOOR LIVING AREA.

\*\*\*ALLOWS UP TO 50% DAYLIGHT BASEMENT/GARAGE.

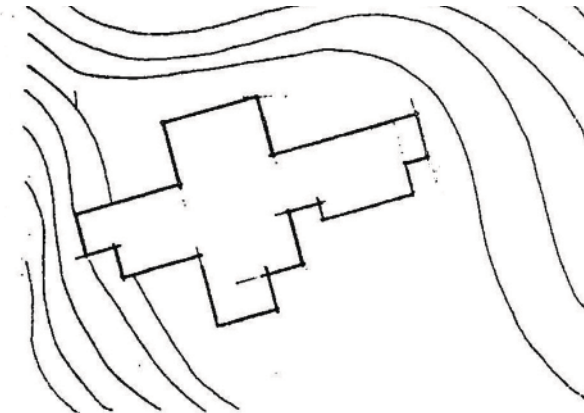
## GRADING AND DRAINAGE

THE INTENT AND GOALS OF THE LAND PLANNERS ARE TO PRESERVE THE NATURAL EXISTING TOPOGRAPHY AND MAINTAIN THE DELICATE SYSTEM OF NATURAL DRAINAGE STRUCTURES, WASHES AND CREEK BEDS.

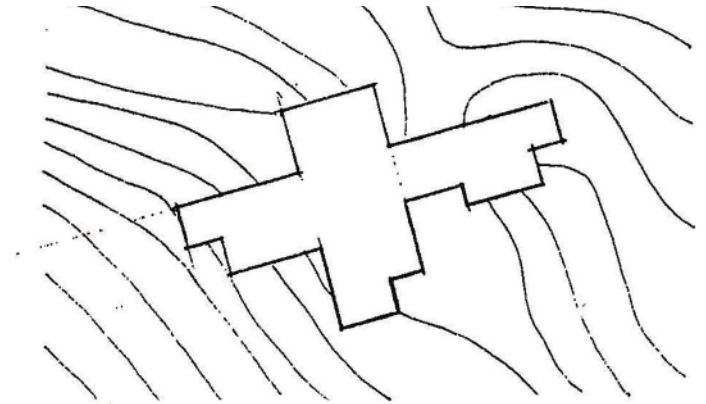
TO ENSURE A SENSITIVE PLACEMENT OF ALL ROADS AND BUILT STRUCTURES, EACH HOME OWNER WILL BE REQUIRED TO HAVE A LICENSED ENGINEER DEVELOP A GRADING AND DRAINAGE PLAN WHICH SPECIFIES CUT AND FILL IN ORDER TO MINIMIZE IMPACT TO THE IMMEDIATE AND SURROUNDING SITES.

ANY IMPROVEMENTS THAT HAVE BEEN MADE BY THE DEVELOPER WERE CAREFULLY PLANNED TO MINIMIZE DISRUPTION TO THE EXISTING ECOSYSTEM OR ALTERATION TO THE TOPOGRAPHY. THE DESIGNATED BUILDING SITES HAVE BEEN LOCATED TO MINIMIZE GRADING AND AVOID THE PRIMARY EXISTING NATURAL DRAINAGE SYSTEMS. THESE RECOMMENDATIONS MUST BE CARRIED THROUGH TO ALL LEVELS OF DEVELOPMENT INCLUDING INDIVIDUAL HOME SITES.

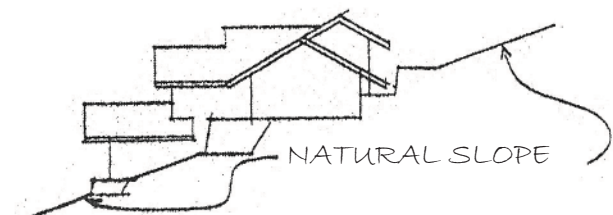
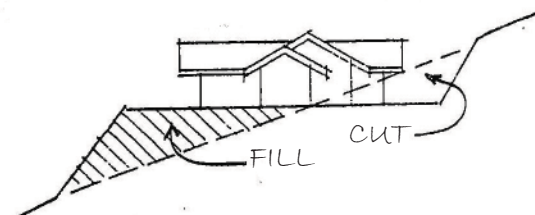
COMPLIANCE WITH THESE GUIDELINES WILL BE REVIEWED IN THE DESIGN REVIEW PROCESS AND IN THE FIELD DURING CONSTRUCTION.



DISCOURAGED



ENCOURAGED





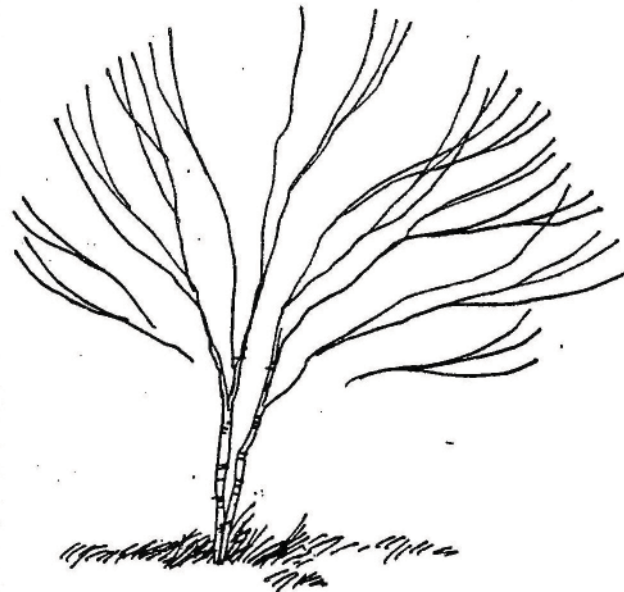
## LANDSCAPING AND VEGETATION

THE GOAL AND INTENT OF THESE GUIDELINES IS TO AID YOU IN PROTECTING AND ENHANCING THE EXISTING LANDSCAPE AND VEGETATION. PRESERVATION OF EXISTING NATIVE SPECIES IS PARAMOUNT AND ALL PLANS FOR IMPROVEMENT MUST RESPECT EXISTING TREE LOCATIONS, ESPECIALLY MATURE SPECIMENS. THE EQUIPMENT IS AVAILABLE LOCALLY FOR MOVING TREES THAT ARE IN DIRECT CONFLICT WITH BUILDING SITES.

ON THOSE LOTS WHICH ARE LOCATED IN HIGH VISIBILITY LOCATIONS, RIDGE LINES OR LOTS WITHOUT MATURE VEGETATION, IT IS IMPORTANT TO SOFTEN THE IMPACT OF NEW STRUCTURES. MATURE VEGETATION WILL BE AN IMPORTANT COMPONENT TO THE OVERALL DESIGN IN ORDER TO DIMINISH THE IMPACT TO THE VIEWSCAPE.

ALL LANDSCAPING IS TO HAVE A PROFESSIONALLY INSTALLED IRRIGATION SYSTEM SUFFICIENT TO INSURE THE HEALTH OF THE PLANTED MATERIALS. REGARDLESS OF LANDSCAPE PLANS, AN IRRIGATION SYSTEM IS REQUIRED TO BE INSTALLED AROUND ALL STRUCTURES. THIS SYSTEM MUST HAVE SPRINKLERS ABLE TO WET A 50' DISTANCE AROUND ALL SIDES OF THE BUILDING TO PROVIDE A GREEN BUFFER ZONE IN THE EVENT OF A DRY/HIGH FIRE SEASON. ALL DECIDUOUS TREES SHALL BE LIMBED TO A MINIMUM OF 4' ABOVE GRADE. THIS BUFFER AND LIMBING WILL ACT AS A DETERRENT IN CASE OF GRASS FIRES ON THE RANCH. ALL LANDSCAPE MATERIALS ARE TO HAVE A ONE YEAR WARRANTY.

A LANDSCAPING BOND OR LETTER OF CREDIT FOR THE ENTIRE AMOUNT OF THE LANDSCAPE AND IRRIGATION BID IS REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION.



## TREE REMOVAL

FOR PROPOSED TREE REMOVALS:

- BRIGHT PINK FLAGGING WITH A SINGLE BAND ON ALL TREES GREATER THAN 16" IN DIAMETER WITHIN THE BUILDING ENVELOPE
- BRIGHT GREEN FLAGGING WITH A DOUBLE BAND ON ALL TREES GREATER THAN 8" IN DIAMETER OUTSIDE THE BUILDING ENVELOPE
- WHERE REMOVAL OF PROMINENT CLUSTERS OR GROVES IS PROPOSED, WRAP FLAGGING TAPE AROUND ENTIRE GROUP. FOR TREES TO BE SAVED WITHIN DISTURBED AREAS, WRAP WHITE FLAGGING ON ALL TREES WITH HANDWRITTEN NOTE "SAVE". PRIOR TO THE SITE INSPECTION, THE OWNER IS TO SUBMIT PLANS, DETAILS, AND SPECIFICATIONS FOR PROPOSED TREE PROTECTION AND MAINTENANCE DURING CONSTRUCTION AND PERMANENT IMPROVEMENTS SUCH AS TREE WELLS, AERATION SYSTEMS, ETC. FOR TREES TO BE SAVED WITHIN DISTURBED AREAS

THE ARC WILL REVIEW BOTH THE FLAGGING ON SITE AND THE PLANS WITH THE OWNER, AND WILL NOTIFY THE OWNER OF ITS FINDINGS. FLAGGING ON TREES IS TO BE CHANGED AS DIRECTED BY THE ARC AND LEFT IN PLACE ON TREES TO BE SAVED FOR THE DURATION OF THE CONSTRUCTION PROCESS.

THE FINAL WORKING DRAWINGS ARE TO INCLUDE EXISTING TREES OR TREE GROUPS TO BE SAVED ON THE SITE PLANS AND LANDSCAPE PLANS ALONG WITH THE PREVIOUSLY REVIEWED AND APPROVED DOCUMENTS FOR TREE PROTECTION, MAINTENANCE, FERTILIZATION, AND PERMANENT IMPROVEMENTS SUCH AS TREE WELLS, AERATION SYSTEMS, ETC.

ANY PERSON WHO REMOVES, DESTROYS, OR SIGNIFICANTLY DAMAGES A TREE OF EIGHT (8) INCHES CALIPER OR MORE, BEYOND THE REASONABLE LIMITS OF CONSTRUCTION OR OUTSIDE THE PARCEL, SHALL BE LIABLE TO THE ARC FOR THE SUM OF UP TO \$1,000 FOR EACH TREE DESTROYED AND WILL BE REQUIRED TO PLANT A MINIMUM 24" BOX SIZE TREE OF A SIMILAR SPECIES AS APPROVED BY THE ARC AS A REPLACEMENT. THE ARC MAY AUTHORIZE THE REMOVAL OF TREES IN THE EVENT A TREE IS DISEASE-BEARING OR POSES A THREAT TO HEALTH AND SAFETY. THIS DOES NOT PRECLUDE THE ARC FROM REQUIRING ADDITIONAL TREES TO BE REPLANTED AS FURTHER RESTITUTION TO THE IRREPARABLE DAMAGE CAUSED BY THE UNAUTHORIZED DESTRUCTION OF TREES.

INTENTIONAL OR UNINTENTIONAL REMOVAL OF/OR DAMAGE TO ANY TREES WITHOUT PRIOR APPROVAL BY THE ARC IS A VIOLATION OF THE COVENANTS AND APPROPRIATE REMEDIES WILL BE INVOKED.

## CISTERN

A TOTAL MINIMUM OF 3500 GALLON CISTERN(S) IS REQUIRED. 2 UNITS MAY BE UTILIZED IN SERIES TO PROVIDE THE MINIMUM REQUIREMENT.

## FENCES/ PRIVACY SCREENS

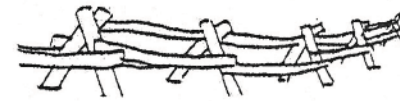
SOLID FENCES ARE NOT PERMITTED ON PARCELS WITHIN SUN WEST RANCH. ALL FENCES MUST BE APPROVED BY THE ARC. SMOOTH WIRE FENCES OR LOG FENCES WILL BE ENCOURAGED AND JACK LEG OR BARBED WIRE FENCES WILL BE DISCOURAGED.

PRIVACY SCREENS MIGHT BE USED IN CONJUNCTION WITH A PERSONAL HOT TUB OR SUNNING DECK. THE SCREENING SHOULD BE CONSISTENT WITH THE OVERALL DESIGN OF THE EXISTING BUILDING. MATERIALS AND COLORS USED FOR THE SCREEN SHOULD COMPLIMENT THOSE USED FOR THE EXTERIOR OF THE RESIDENCE. THE SCREEN SHOULD NOT BE TALLER THAN THE ROOF EAVE EDGE.

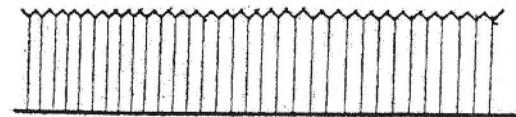
NATURAL PLANTING SHOULD BE USED TO MASK THE FENCE AND ITS LOCATION ON THE SITE SHOULD BE SELECTED TO MINIMIZE ITS VISIBILITY FROM THE ROAD AND SURROUNDING PROPERTIES.



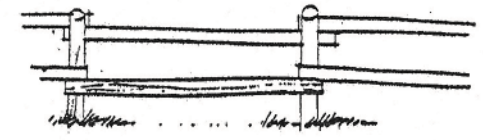
ALLOWED ONLY WHERE  
NOT EASILY SEEN



DISCOURAGED



NOT ALLOWED



ENCOURAGED

## EXTERIOR LIGHTING

NIGHT LIGHTING SURROUNDING A DWELLING MAY BE NECESSARY FOR SAFETY ALONG WALKWAYS, DECKS, ENTRY WAYS AND DRIVEWAYS. LIGHTING SHOULD BE OBSCURED SO AS NOT TO IMPOSE ON NEIGHBORS AND HELP MAINTAIN A SUBDUED APPEARANCE TO THE AREA. DOWN-LIGHT FIXTURES THAT ILLUMINATE INDIRECTLY AND ARE SHIELDED, RECESSED, OR DIRECTIONAL WILL SAFELY LIGHT AREAS. DRIVEWAYS AND WALKWAYS CAN BE ILLUMINATED ALONG THEIR EDGES WITH FIXTURES THAT ARE CLOSE TO THE GROUND. ORNAMENTAL LIGHTING IS DISCOURAGED EXCEPT FOR HOLIDAY PERIODS.

THE STANDARD POWER COMPANY HALOGEN NIGHT LIGHTS ARE NOT ALLOWED. ALL OUTDOOR LIGHTING FIXTURES ARE TO BE APPROVED BY THE ARC.

## OUTDOOR FURNISHINGS

OUTDOOR FURNISHINGS ARE CONSIDERED AN EXTENSION OF ARCHITECTURE THAT BECOMES PART OF THE LANDSCAPE. WHETHER THE FURNITURE IS PERMANENTLY FIXED IN POSITION OR PORTABLE, CAREFUL CONSIDERATION OF MATERIALS, COLOR, DESIGN, SIZE AND LOCATION SHOULD BE GIVEN TO REMAIN CONSISTENT WITH THE OVERALL BUILDING AND SITE DESIGN. COLORS OF AWNING, UMBRELLAS AND OUTDOOR FURNISHINGS SHOULD BE EARTH TONES SELECTED TO BE HARMONIOUS TO THE OVERALL LOOK OF THE PROPERTY. OUTDOOR CLOTHESLINES ARE NOT PERMITTED.

## TENNIS COURTS

SOME LOTS HAVE AN APPROPRIATE SITE FOR A TENNIS COURT. IN GENERAL, THEY SHOULD BE BUILT IN A MANNER AND LOCATION THAT DOES NOT REQUIRE EXTENSIVE GRADING AND TREE REMOVAL OR CONSTRUCTION OF RAISED DECKS WITH RETAINING WALLS. DESIGN AND COLOR OF FENCING MATERIALS SHOULD BLEND NATURALLY INTO THE SURROUNDING AREA AND PLANT MATERIALS SHOULD BE ADDED WHERE NECESSARY TO SOFTEN THE VISUAL IMPACT. SURFACE COLORS MUST BE APPROVED BY THE ARC AND SHOULD BE RESTRICTED TO SOFT REDS AND GREENS OR NEUTRAL COLORS AND SHOULD NOT BE HIGHLY REFLECTIVE. TENNIS COURTS SHOULD BE SCREENED FROM ADJACENT PROPERTIES WITH THE USE OF NATURAL PLANT MATERIALS AND A MINIMUM SETBACK OF 50 FT FROM THE PROPERTY LINES.

NIGHT LIGHTING OF TENNIS COURTS IS PROHIBITED. THE ARC WILL MAKE A FINAL DETERMINATION OF WHETHER EACH SITE IS SUITABLE FOR THE PLACEMENT OF A TENNIS COURT. SOME LOTS MAY BE PROHIBITED FROM HAVING TENNIS COURTS.

## HORSES

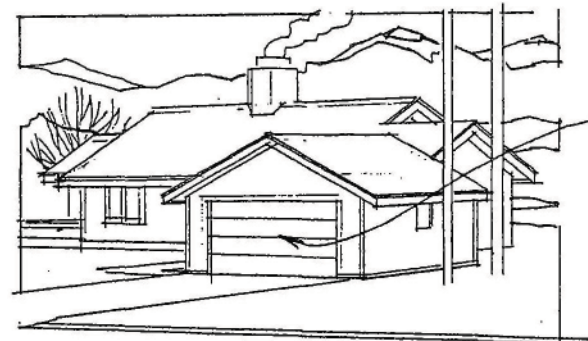
HORSES ARE PERMITTED ONLY BY A SEASONAL PERMIT APPROVED BY BOTH THE SWR BOARD AND RANCH MANAGER. HORSES MUST BE CONTAINED WITHIN A CORRAL AND ALL FACILITIES MUST BE APPROVED BY THE ARC. THE FACILITY MUST HAVE A LIVESTOCK WATERER.

## GARAGES

BECAUSE OF THEIR SIZE, GARAGES OFTEN TEND TO DOMINATE THE FRONT FAÇADE OF A DWELLING. CREATIVE AND SENSITIVE GARAGE PLACEMENT SHOULD BE EXPLORED SO THAT, WHERE FEASIBLE, A GARAGE SHOULD BE INCORPORATED INTO THE PLAN WITHOUT DETRACTING FROM THE OVERALL RESIDENCE.



ENCOURAGED:  
GARAGE CONCEALED BY LANDSCAPING  
& INCORPORATED WITHIN OVERALL  
ROOF FORM.



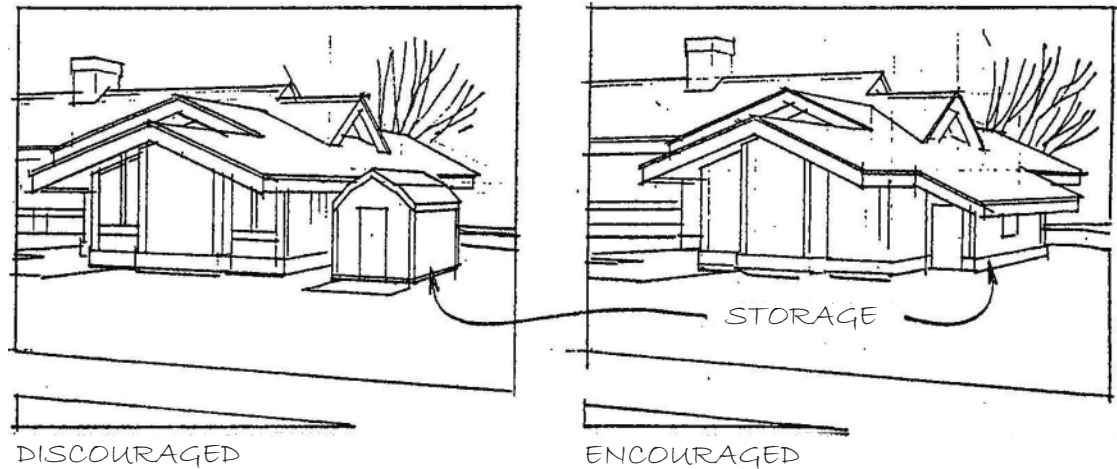
DISCOURAGED:  
GARAGE DOMINATES STREET FAÇADE.

EACH DWELLING UNIT IS REQUIRED TO HAVE AT LEAST A TWO CAR GARAGE AND ALL DWELLINGS MUST HAVE OFF STREET PARKING FOR AT LEAST 2 CARS. CONSIDERATION SHOULD BE GIVEN TO THE STORAGE OF ADDITIONAL RECREATION EQUIPMENT IN THE DESIGN OF THE GARAGE. GARAGES ARE ENCOURAGED TO BE ATTACHED TO THE PRIMARY RESIDENCE.

## STORAGE SHEDS / SECONDARY STRUCTURES

TO AVOID A TACKED ON "STORAGE SHED" APPEARANCE, IT IS RECOMMENDED THAT NEEDED STORAGE SPACE BE INTEGRATED INTO THE OVERALL DESIGN OF THE MAIN LIVING STRUCTURE.

NECESSARY STORAGE NEEDS SHOULD BE ANTICIPATED AND PROVIDED FOR IN A GARAGE OF THE APPROPRIATE SIZE. DETACHED STORAGE UNITS WHICH ARE NOT IN CHARACTER WITH THE MAIN RESIDENCE ARE DISCOURAGED AND REQUIRE A VARIANCE FROM THE ARC. IF APPROVED, SPECIAL CONCESSION MAY BE REQUIRED TO MITIGATE THE VIEW FROM ADJOINING LOTS.



## RV'S, BOATS, RECREATIONAL EQUIPMENT

ALL PASSENGER VEHICLES (INCLUDING PICKUPS OR VANS), RV'S, MOBILE HOMES, TRAILERS, BOATS, TRACTORS, WAGONS, AND FARM EQUIPMENT OR IMPLEMENTS USED OR OWNED BY THE RESIDENT SHALL BE KEPT AND PARKED OVERNIGHT WITHIN GARAGES, BARNs, OR OTHERWISE COMPLETELY SHIELDED FROM VIEW.

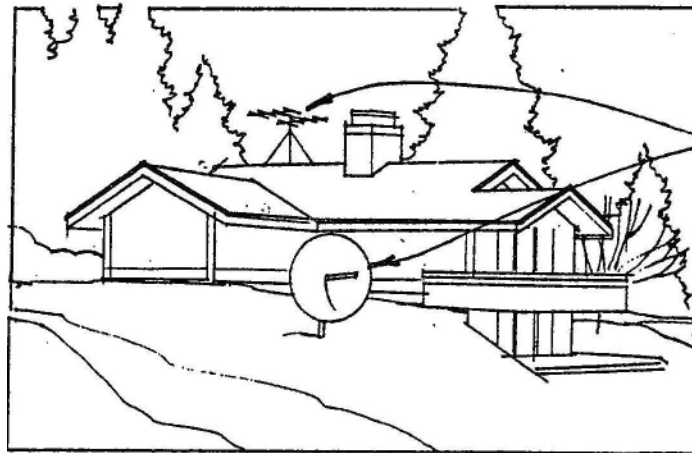
## ELECTRICAL METERS

METERS SHOULD BE PLACED IN A LOCATION SO AS TO BE ACCESSIBLE TO THE METER READER AND YET NOT VISIBLE FROM ADJOINING ROADWAYS. ALL UTILITIES AT SUN WEST RANCH ARE TO BE PLACED UNDERGROUND.

A RECESSED OR ENCLOSED CONTAINER COMPLYING WITH POWER COMPANY SPECIFICATIONS CAN BE DESIGNED INTO THE WALL OF A HOUSE TO CONCEAL AN ELECTRICAL METER. ALL CONDUIT WIRES SERVICING THE METER ARE TO BE BENEATH THE EXTERIOR WALL SHEATHING OR ENCLOSED.

## ANTENNAS & SATELLITE DISHES

IF SATELLITE DISHES OR TELEVISION ANTENNAS ARE DESIRED, THEIR LOCATION, SIZE AND INSTALLATION MUST BE APPROVED BY THE ARC PRIOR TO THEIR PLACEMENT. IN SOME CASES THE ARC MAY REQUEST NATURAL SCREENING TO BE PLACED AROUND A DISH OR ANTENNA TO ASSIST IN BLENDING INTO THE SURROUNDING LANDSCAPE.



MUST BE SCREENED (IF VISIBLE FROM ROADS)



## SOIL DISPOSAL

EACH SITE HAS BEEN CAREFULLY SELECTED SO THAT WHEN COUPLED WITH A SENSITIVE DESIGN APPROACH A MINIMUM DISRUPTION OF THE SITE WILL BE REQUIRED. WHEN ADDITIONAL SOILS ARE THE RESULT OF EXCAVATION, THEY MAY NOT BE PERMANENTLY PLACED ON YOUR SITE AND MUST BE REMOVED FROM THE LOT PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED. THE SWR MAY MAKE ACCOMMODATIONS FOR PLACEMENT OF OVERBURDEN OFF SITE AT A DESIGNATED LOCATION, IF AVAILABLE.

## EXTERIOR WALLS

### DESIGN

WALLS, IN ADDITION TO ENCLOSING INTERIOR SPACES, ARE ONE OF THE MOST IMPORTANT ASPECTS OF THE EXTERIOR BUILDING DESIGN AND IN A LARGER SENSE REFLECT THE IMAGE OF OUR SUN WEST RANCH.

ASIDE FROM CONSIDERATION OF SCALE AND PROPORTION AS MENTIONED IN THIS GUIDE, MATERIALS AND COLORS CHOSEN FOR THE EXTERIOR SURFACE ARE A MAJOR PART OF THE AESTHETIC APPEAL.

### MATERIALS

MATERIALS THAT ARE ENCOURAGED:

- NATURAL WOOD SIDING THAT CAN BE STAINED OR PAINTED
- LOGS
- NATURAL STONE
- STUCCO (ACCEPTABLE)

MATERIALS THAT ARE DISCOURAGED:

- STEEL OR ALUMINUM SIDING
- PLASTIC SIDING
- SIMULATED STONE, BRICK OR WOOD
- ASPHALT OR HARDWOOD SIDING

RECOGNIZING THE PROGRESSIVENESS OF THE BUILDING INDUSTRY, THE COMMITTEE IS OPEN TO CONSIDERING NEW MATERIALS THAT CAN BE UTILIZED EFFICIENTLY IN BUILDING WHILE MAINTAINING THE AESTHETIC CHARACTER OF THE COMMUNITY.

NATURAL MATERIALS SUCH AS STONE AND WOOD BY THEIR NATURE INHERENTLY WORK WELL WITH THE SURROUNDINGS. NATURAL COLOR OR TRANSPARENT FINISHES ON THESE MATERIALS NOT ONLY ENHANCE THEM BUT ACTUALLY IMPROVE WITH AGE AND ARE LOW MAINTENANCE.

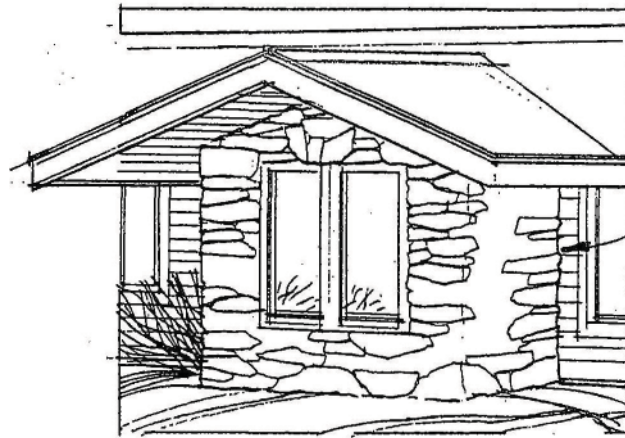
MAN-MADE MATERIALS OF NATURAL COLORS AND TEXTURES SUCH AS EXTERIOR GRADE PLYWOOD, I.E. T1-11, MAY ALSO BE SUITABLE. ONLY WHEN MAN-MADE MATERIALS TRY TO MIMIC NATURAL MATERIALS OR ARE FINISHED IN BRIGHT OR HIGHLY REFLECTIVE COLORS, ARE THEY OFFENSIVE.

ALSO A BALANCE SHOULD BE KEPT WITH THE MIXTURE AND NUMBER OF MATERIALS USED. THE USE OF FOUR OR MORE DIFFERENT MAIN MATERIALS CAN CREATE CONFUSION AND DETRACT FROM AN OTHERWISE GOOD DESIGN. CONVERSELY, A LARGE UNBROKEN EXPANSE OF SINGLE MATERIAL CAN BE A NEGATIVE DESIGN FEATURE.

## **STUCCO**

IT IS IMPORTANT TO DETAIL A BUILDING WHICH USES STUCCO OR PLASTER IN A WAY THAT ADDS INTEREST TO THE PLAINNESS OF THE STUCCO SURFACE. WALL OPENINGS SHOULD BE DESIGNED TO SHOW A MORE MASSIVE, ADOBE-LIKE WALL THICKNESS. LARGE EXPANSES OF STUCCO OR PLASTER SHOULD BE BROKEN UP TO AVOID MONOTONY.

**MASONRY** - MASONRY, LIKE STUCCO, MUST BE PROPERLY USED IN ORDER TO BE MOST EFFECTIVE. TO TAKE FULL ADVANTAGE OF MASONRY, CARE MUST BE TAKEN TO AVOID A 'THIN VENEER' APPEARANCE. THIS CAN BEST BE ACCOMPLISHED THROUGH CAREFUL CHOICE OF HOW AND WHERE THE STONE EDGES OCCUR.



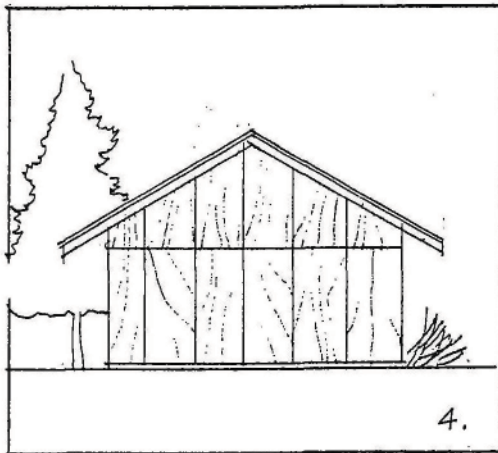
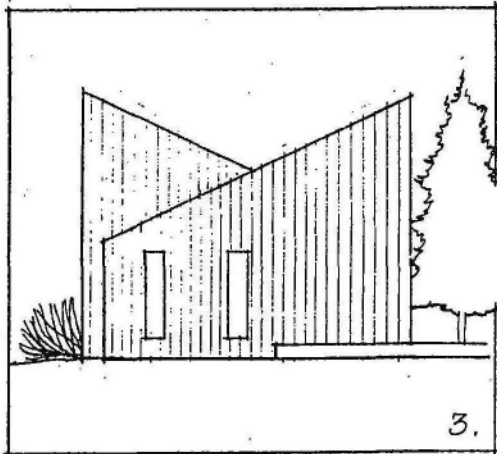
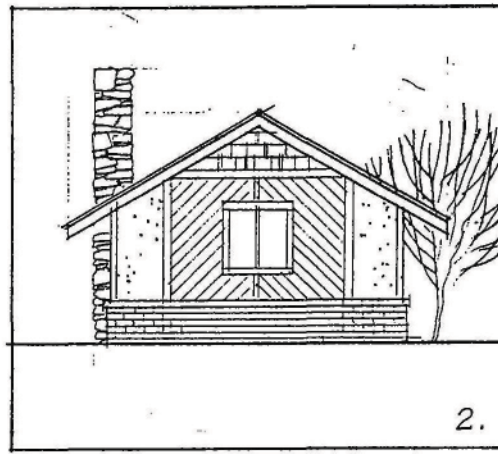
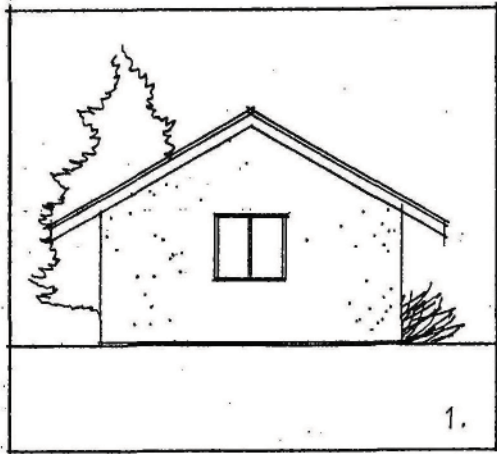
ENCOURAGED:  
STONE VENEER ENDS @ INSIDE  
CORNER

ALSO EXTREMELY THIN STONE VENEER CAN HAVE A POOR APPEARANCE EVEN WHEN APPLIED AS SHOWN. A THICKER VENEER WILL CREATE A SENSE OF STURDY QUALITY.

STONE IS BEST USED WHEN ITS EDGES ARE TERMINATED AT INSIDE CORNERS.

## DISCOURAGED ELEMENTS: A REVIEW

1. STUCCO WALL FINISH WITHOUT ANY TRIM, JOINTS OR SURFACE ARTICULATION LACKS VISUAL INTEREST.
2. TOO MANY DIFFERENT MATERIALS USED AT ONCE CAN CREATE VISUAL CONFUSION.
3. HIGH EXTERIOR WALLS WITH FEW OPENINGS OR OTHER INTERRUPTIONS CAN LACK INTEREST AND APPEAR OUT OF SCALE. CONTEMPORARY DESIGNS ARE DISCOURAGED.
4. PLYWOOD SIDING WITH VISIBLE EDGE JOINTS IS VERY UNATTRACTIVE AND SHOULD BE AVOIDED.



## ROOF MATERIALS & ELEMENTS

THE PLACEMENT OF SKYLIGHTS SHOULD TAKE EXTERIOR APPEARANCES INTO ACCOUNT AS WELL AS INTERIOR DAY LIGHTING NEEDS. A SKYLIGHT PLACED WITHOUT CONSIDERATION TO EXTERIOR APPEARANCES MAY WELL DETRACT FROM THE DESIGN. OFTEN SUCH SKYLIGHTS ACHIEVE THE MOST ATTRACTIVE PLACEMENT WHEN POSITIONED WELL AWAY FROM DIFFICULT ROOF CHANGES SUCH AS VALLEYS AND HIPS WHERE LEAKS MAY DEVELOP.

AT A MINIMUM, SKYLIGHTS SHOULD BE OF QUALITY, INSULATED, DOUBLE GLAZED CONSTRUCTION. LOW PROFILE SKYLIGHTS ARE ALSO MORE ENCOURAGED THAN BUBBLE OR DOMED SKYLIGHTS.

ROOF MATERIALS THAT ARE THOUGHTFULLY CHOSEN WILL ENHANCE AND SUPPORT THE CHARACTER OF THE BUILDING AND WILL HELP TO BRING ABOUT A COHESIVENESS WITHIN THE SUN WEST RANCH COMMUNITY. ROOFING MATERIALS SHOULD BE CHOSEN FOR BOTH AESTHETIC APPEAL AND THE FUNCTION WHICH THEY MUST PERFORM; PARTICULARLY THAT OF SHEDDING SNOW.

ENCOURAGED ROOF MATERIALS:

- COPPER
- ZINC
- SLATE
- CEDAR SHINGLES & SHAKES (FIRE RETARDED)
- ASPHALT COMPOSITION SHINGLES (MINIMUM DOUBLE LAMINATE)
- PAINTED METAL (STANDING SEAM, RIBBED)

**COLOR** MUTED AND SUBDUED COLORS SHOULD BE CHOSEN TO HARMONIZE WITH THE SURROUNDING COLOR SCHEMES OF NEIGHBORING BUILDINGS AND THE NATURAL ENVIRONMENT. ALL FLASHING, ROOF VENTS, HOODS, AND OTHER ROOF ELEMENTS SHOULD BE FINISHED WITH COLORS WHICH BLEND WITH THE ROOFING. ROOF COLOR MUST BE APPROVED BY THE COMMITTEE.

## ENERGY

**CONSERVATION** THE MINIMUM ROOF INSULATION SHOULD BE R-50. FOR EXPOSED DECK OR OPEN BEAMED CEILINGS THE MINIMUM R-VALUE WILL BE 25. THIS IS A WISE CHOICE BECAUSE HEAT ESCAPING THROUGH THE ROOF IS NOT ONLY COSTLY BUT CAN CAUSE ICE DAMS.

**ICE DAMS** BECAUSE ICE CAN FORM AT THE EAVES OF A POORLY DETAILED AND UN-INSULATED ROOF SYSTEM IT IS IMPORTANT TO CONSIDER THE ROOF ASSEMBLY AND ITS CONFIGURATION. IF SNOW IS HEATED BY HEAT LOSS THROUGH THE ROOF, THE RESULTING MOISTURE WILL RUN DOWN AND FREEZE WHEN IT HITS THE COLD OVERHANGING PORTION OF THE ROOF. THE ACCUMULATION OF ICE AT THIS LOCATION CAUSES WATER TO BE POOLED AGAINST THE ROOF WHICH CAN CAUSE LEAKING.

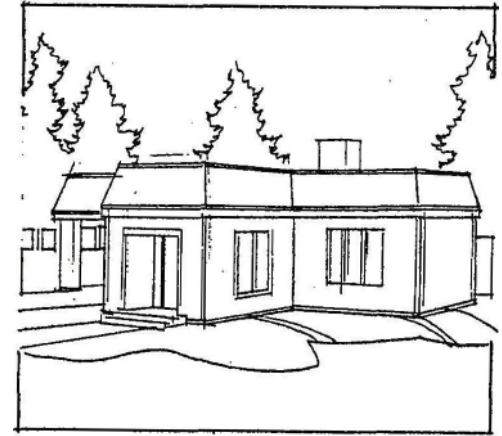
**COLD ROOFS** TO AVOID THIS A COLD ROOF SYSTEM MAY BE USED. COLD ROOF SYSTEMS PROVIDE OUTSIDE AIR CIRCULATION UNDER THE SHINGLES. THIS VENTING MAINTAINS THE SAME ROOF TEMPERATURE OVER THE ENTIRE ROOF.

**SNOW LOADS** SPECIFIC MINIMUM SNOW LOAD REQUIREMENTS FOR SUN WEST RANCH SHOULD BE DETERMINED BY YOUR ARCHITECT AND ENGINEER.

SPECIAL ATTENTION SHOULD BE PAID BY ARCHITECTS AND ENGINEERS TO AREAS OR SITES WHICH MAY RECEIVE HEAVIER SNOW LOADS, DUE TO NATURAL OR MAN-MADE FORCES.

ROOF FORMS: THE FOLLOWING TYPES OF ROOF FORMS ARE DISCOURAGED.

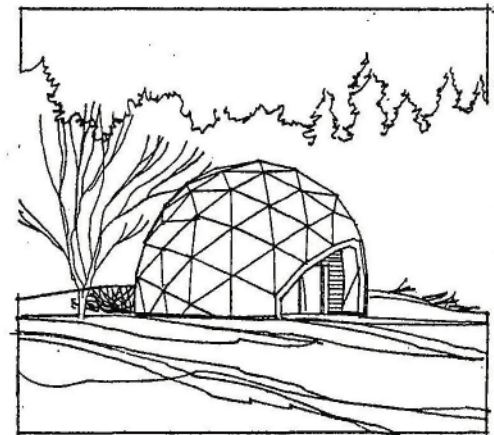
- MANSARD
- CURVILINEAR
- DOMED
- A-FRAME
- FLAT OR FLAT APPEARING



MANSARD



A-FRAME

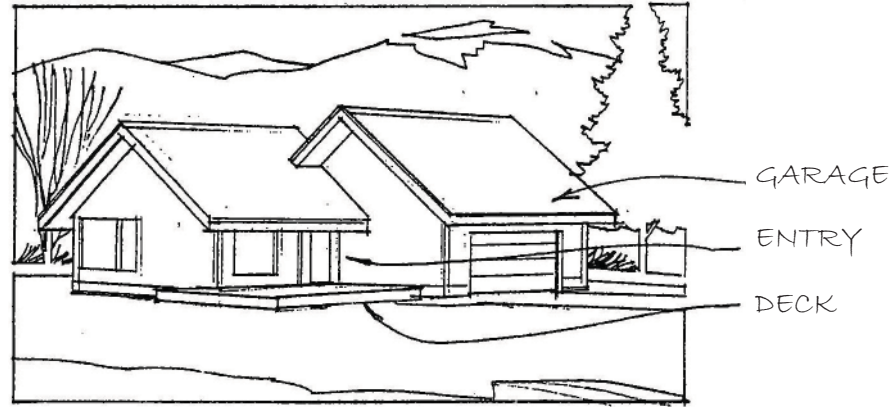


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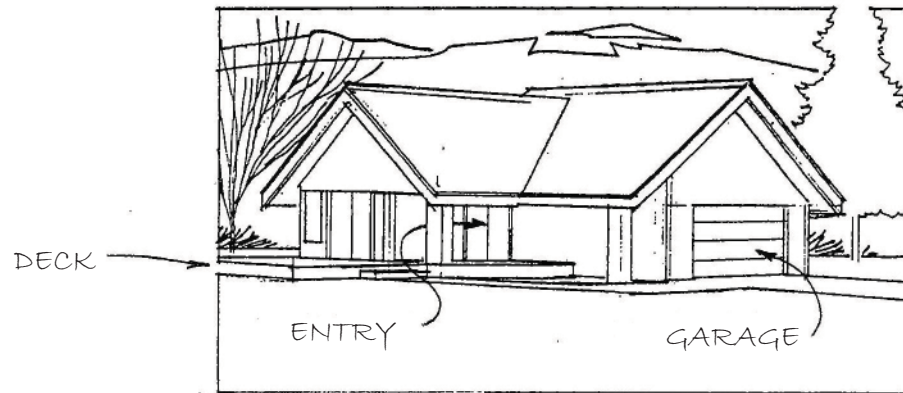


**SNOW ACCUMULATION** CARE SHOULD BE TAKEN TO AVOID SNOW SLIDING OFF THE ROOF ON TO ENTRY WALKS, GARAGE DRIVEWAYS, DECKS OR OTHER AREAS WHERE SNOW ACCUMULATION CAN BE A PROBLEM.

IDEALLY SUCH AREAS SHOULD BE LOCATED AT GABLE ENDS.



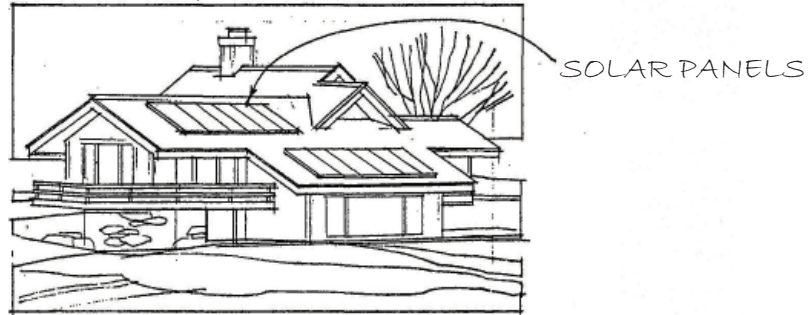
DISCOURAGED



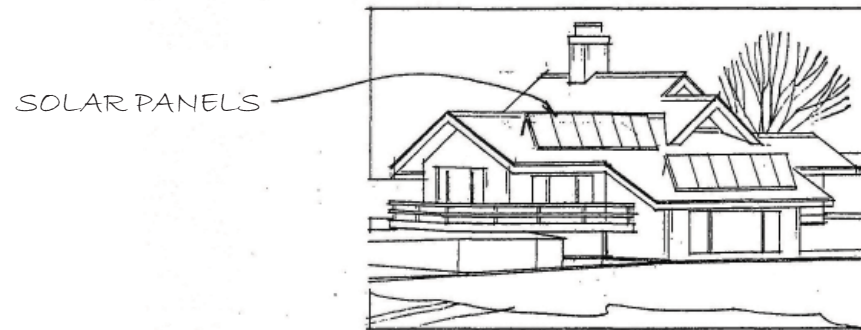
ENCOURAGED

## SOLAR PANELS

SOLAR PANELS MUST BE INTEGRATED INTO THE OVERALL ROOF FORM. THEY SHOULD BE PLACED FLUSH WITH THE SURFACE THEY ARE ATTACHED TO.



ENCOURAGED



DISCOURAGED

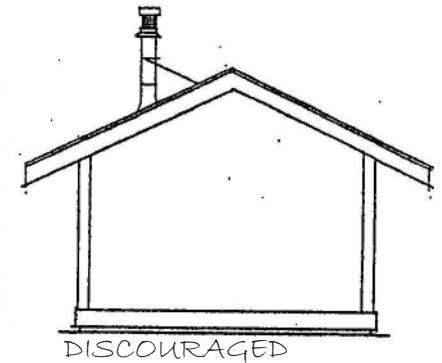
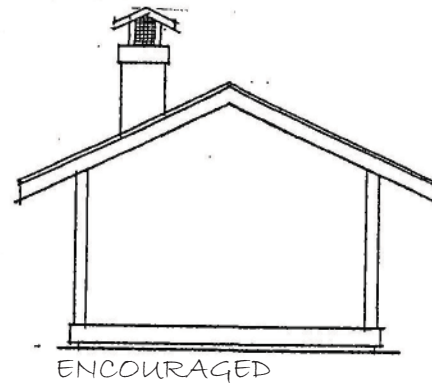
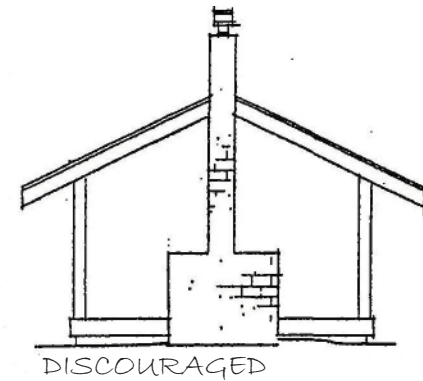
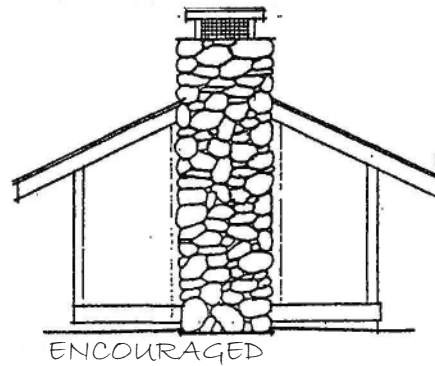
## CHIMNEYS

A CHIMNEY CAN BE AN EXCELLENT DESIGN FEATURE. THEY ARE NATURALLY STRONG ELEMENTS BECAUSE BUILDING CODES REQUIRE THAT THEY BE TALLER THAN THE SURROUNDING ROOF LINE.

A CAREFUL CHOICE OF MATERIALS AND PROPORTION IS NECESSARY TO FULLY BENEFIT FROM THE CHIMNEY AS A DESIGN ELEMENT. CHIMNEYS MUST INCLUDE SPARK ARRESTORS.

THE USE OF EXPOSED CONCRETE BLOCK OR EXPOSED STOVEPIPE TYPE CHIMNEY IS NOT PERMITTED.

THE PROPORTIONS OF THE CHIMNEY SHOULD GIVE IT A SUBSTANTIAL, STABLE APPEARANCE.

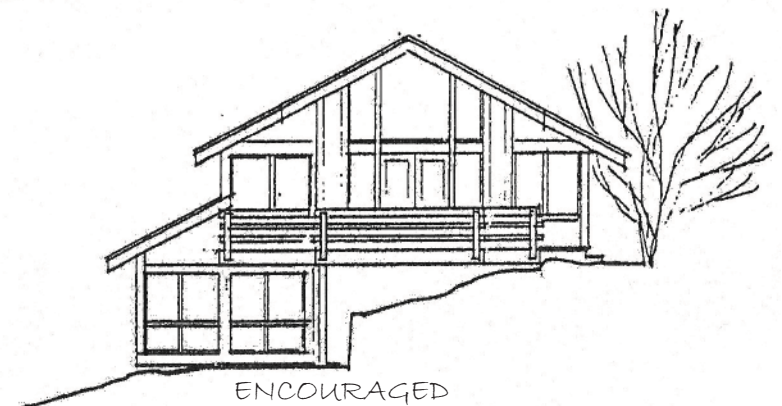
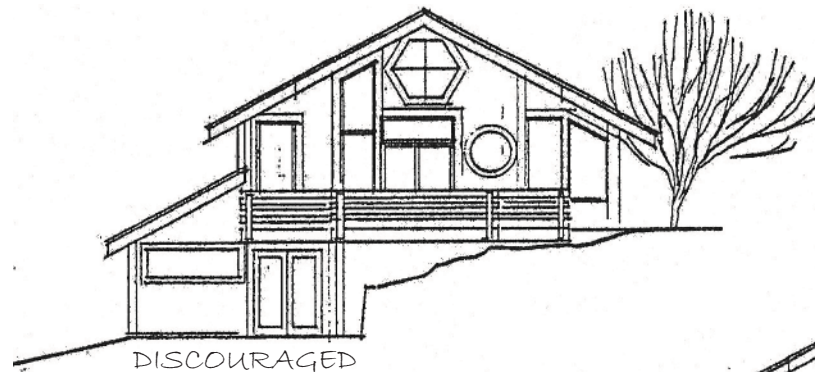


## WINDOW OPENINGS

OPENINGS OF UNUSUAL SHAPE OR SPECIAL TREATMENTS USED ARBITRARILY OR EXCESSIVELY BECOME DISTRACTING TO A GOOD DESIGN. THE USE OF SUCH FORMS OF TREATMENT TO 'DRESS UP' A WEAK OR MONOTONOUS DESIGN IS NOT USUALLY SUCCESSFUL.

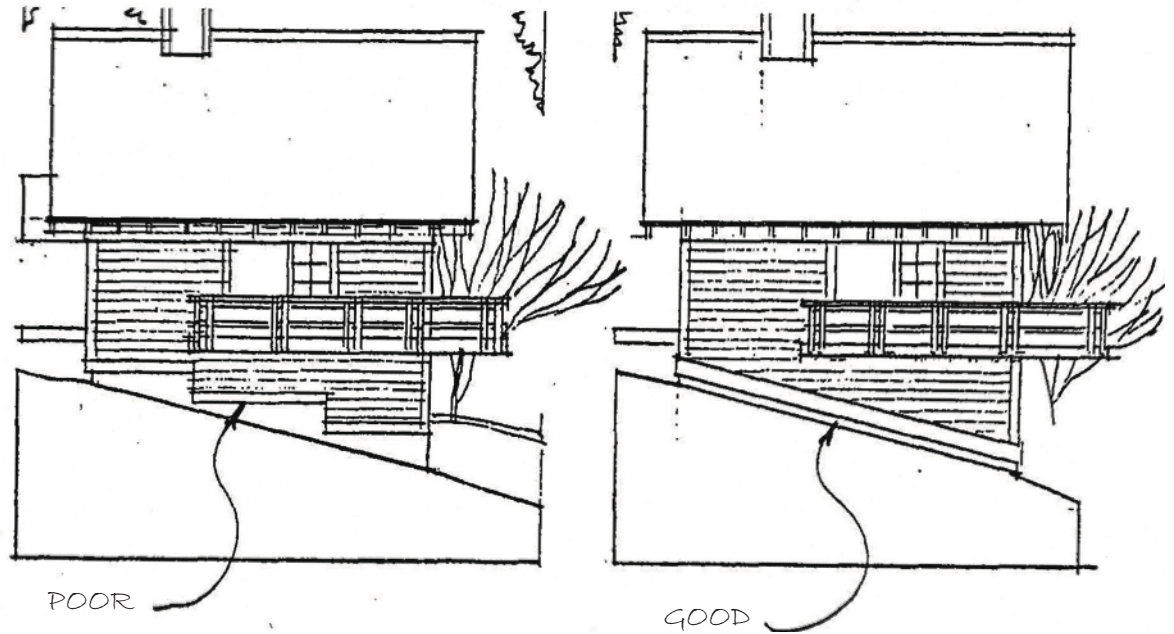
A SPECIAL OPENING SHAPE OR TREATMENT SUCH AS AN OCTAGONAL OR STAINED GLASS WINDOW WILL ATTRACT MORE ATTENTION THAN A CONVENTIONAL WINDOW. SUCH WINDOWS ARE SPECIAL ONLY IF THEY ARE USED WITH RESTRAINT AND IF THEY ARE CAREFULLY PLACED WITH RESPECT TO THEIR INTERIOR AND EXTERIOR POSITIONING.

A CONSISTENT WINDOW TYPE SHOULD BE DOMINANT THROUGHOUT THE OVERALL DESIGN. IF CASEMENT WINDOWS WITH TRUE DIVIDED LINES ARE USED, THEY SHOULD BE CARRIED THROUGH MOST OF THE HOUSE.



## EXTERIOR GRADE & SIDING

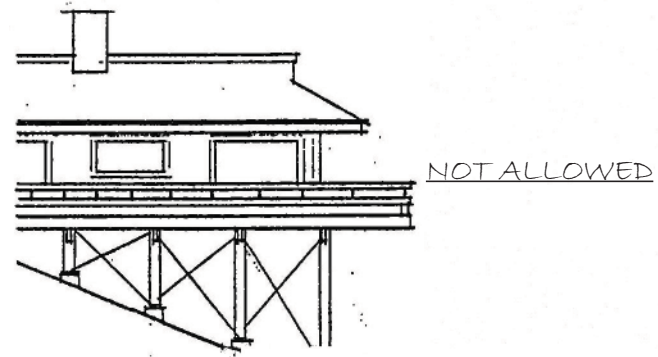
SIDING SHOULD FOLLOW THE LINE OF FINISHED GRADE, INSTEAD OF STEPPING. NAILING STRIPS OR OTHER DEVICES CAN BE USED TO FASTEN THE SIDING TO THE FOUNDATION WALL.



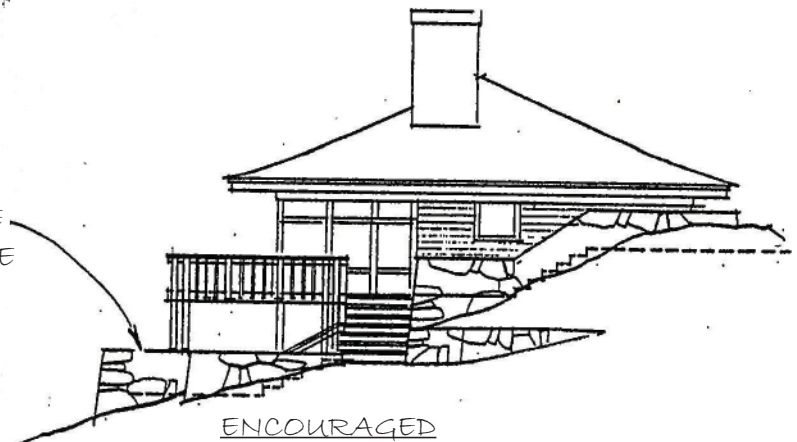
## FOUNDATION ELEMENTS

A FOUNDATION IS MUCH MORE THAN JUST SOMETHING FOR THE BUILDING TO SIT ON. THE FOUNDATION AND ITS RELATED ELEMENTS (RETAINING WALLS, ETC.) IS ALSO WHAT VISUALLY TIES THE BUILDING TO THE SITE. THE DESIGN AND MATERIAL SELECTION FOR THE FOUNDATION SHOULD BE CAREFULLY PLANNED AND BUDGETED FOR.

ESPECIALLY ON SLOPED SITES, THE FOUNDATION WILL BE EXPANSIVE AND UNATTRACTIVE IF THE BUILDING IS NOT DESIGNED TO FIT THE SLOPE.



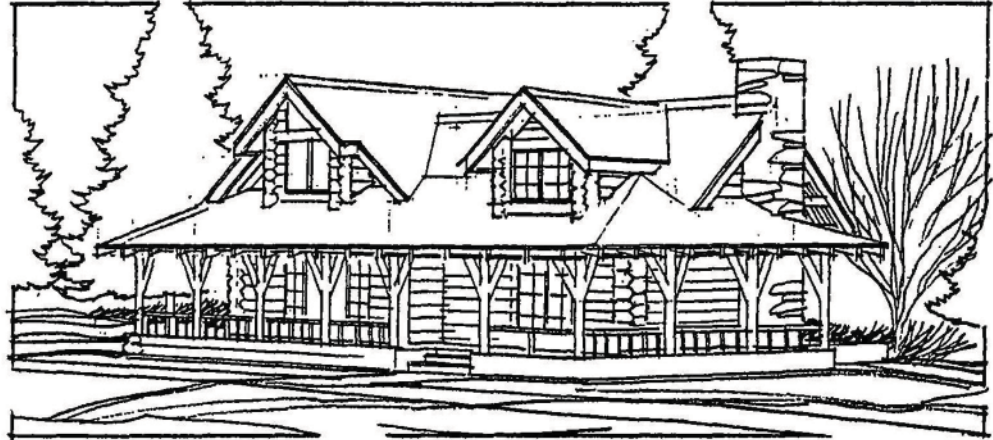
THE FOUNDATION AND  
RETAINING WALLS TIE THE  
BUILDING VISUALLY TO THE  
SITE



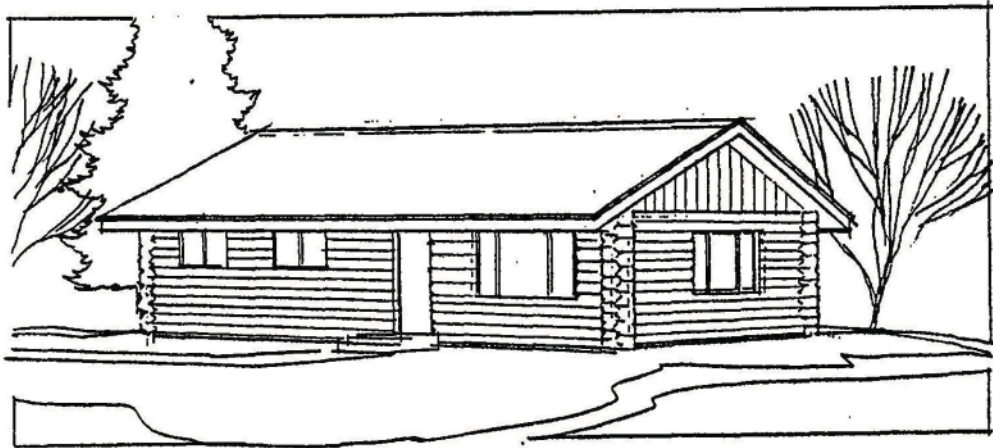
## LOG HOMES

LOG HOMES ARE ENCOURAGED AT THE RANCH; HOWEVER, THEY SHOULD FOLLOW THE GUIDELINES IN THIS GUIDE AND HAVE INTERESTING ROOF LINES, ETC. SIMPLE BOXES ARE PROHIBITED.

HAND-HEWN LOGS ARE HIGHLY DESIRABLE AND MACHINE PEELED LOGS ARE NOT PROHIBITED, BUT ARE DISCOURAGED, UNLESS THEY HAVE INTERESTING ROOF LINES AND PLANS.



ENCOURAGED



DISCOURAGED

## INAPPROPRIATE DESIGNS

EVEN THOUGH THERE MAY BE MANY MERITS TO EXPERIMENTAL OR RADICAL BUILDING DESIGNS IT HAS BEEN DETERMINED THAT GENERALLY SUCH DEPARTURES FROM ESTABLISHED ARCHITECTURAL PRACTICE AND CONSTRUCTION TECHNIQUES ARE NOT IN KEEPING WITH THE QUIET, MORE CONSERVATIVE CHARACTER WITHIN SUN WEST RANCH. PASSIVE SOLAR AND ENERGY EFFICIENT DESIGNS ARE ENCOURAGED AND IT IS FELT THAT THESE RELATIVELY NEW AND INNOVATIVE CONCEPTS CAN BE INCORPORATED WITHOUT COMPROMISING THE DESIGN GOALS.

LENGTHY RESEARCH AND CONSIDERATION BY THE PROFESSIONAL DESIGN TEAM HAS SHOWN THAT TYPICALLY THE MOST OBJECTIONABLE EXAMPLES ARE THOSE THAT RESULT FROM SO-CALLED COST ON TIME SAVINGS CONSTRUCTION METHODS SUCH AS KITS OR PREFAB MODULES OR THE ADAPTATION OF BUILDING SYSTEMS MORE SUITED TO USES OTHER THAN FOR CUSTOM RESIDENTIAL.



## IN CONCLUSION.....

THE PLANNING AND PREPARATION OF THE LAND HAS BEEN CAREFULLY AND METICULOUSLY DONE. NOW THAT YOU MAY BE CONSIDERING CONSTRUCTION YOU WILL FIND THIS DESIGN GUIDE TO BE A VALUABLE RESOURCE IN UNDERSTANDING OUR CONCEPTS OF DESIGN EXCELLENCE. IT HAS BEEN OUR GOAL TO ESTABLISH A BROAD FRAMEWORK WITHIN WHICH QUALITY OF DESIGN WILL BE ENSURED WHILE GIVING FULL RANGE TO THE CREATIVE ABILITIES OF THE ARCHITECT. WE ASK YOUR ASSISTANCE AND COOPERATION TO MAKE THIS A UNIQUE AND BEAUTIFUL COMMUNITY.

## THE ARCHITECTURAL REVIEW COMMITTEE (ARC)

### MEMBERS / GOALS:

SELECTED FELLOW PROPERTY OWNERS AND A RETAINED DESIGN PROFESSIONAL WILL COMPRISE THE ARC WHICH WILL PROVIDE THE SERVICE OF DESIGN REVIEW AND APPROVALS. THIS PROCESS IS THE KEY TO THE SUCCESSFUL DEVELOPMENT OF YOUR SITE AND ITS INTEGRAL CONNECTION TO SUN WEST RANCH.

THE ARC'S PRIMARY CONSIDERATION IS TO AID YOU AND YOUR ARCHITECT IN MAINTAINING THE HIGH QUALITY STANDARDS SET HEREIN.

THE ARC WISHES TO ENCOURAGE INDIVIDUAL EXPRESSION WHILE ALSO ACHIEVING THESE DESIGN STANDARDS. THIS WILL SERVE TO PROTECT YOUR AND YOUR FELLOW PROPERTY OWNERS INVESTMENTS.

THE SUN WEST RANCH ARC HAS ESTABLISHED THE DESIGN REVIEW GUIDELINES WHICH APPLY TO EACH PARCEL OF PROPERTY AT THE RANCH. AN OWNER ACCEPTS MEMBERSHIP IN THE SUN WEST RANCH PROPERTY OWNERS ASSOCIATION AND BECOMES BOUND BY THE RULES AND REGULATIONS OF THE SUN WEST RANCH ARC AS WELL AS THE SECOND RESTATEMENT OF DECLARATIONS OF RESTRICTIONS FOR SUN WEST RANCH AND REVOCATION OF EARLIER RESTRICTIONS (THE PROTECTIVE COVENANTS) OR SUBSEQUENT REVISIONS.

### AUTHORITY:

THE ARC SHALL HAVE THE POWER, AUTHORITY, STANDING & RIGHT TO ENFORCE THE PROTECTIVE COVENANTS AND THIS DESIGN GUIDE IN ANY COURT OF LAW OR EQUITY WHEN IT REASONABLY BELIEVES THE SAME HAVE BEEN VIOLATED.

### JURISDICTION:

THE AREA OF JURISDICTION OF THE ARCHITECTURAL REVIEW COMMITTEE (ARC) IS SET FORTH IN THE PROTECTIVE COVENANTS AND INCLUDES ALL OF THE LANDS THAT ARE PART OF THE SUN WEST RANCH DEVELOPMENT.

NO BUILDING, CONSTRUCTION, RECONSTRUCTION, REMODELING, LANDSCAPING, PARKING, FENCE, WALL OR OTHER IMPROVEMENT SHALL BE PLACED, CONSTRUCTED, ERECTED, REPAIRED, RESTORED, RECONSTRUCTED, ALTERED, REMODELED, ADDED TO, MAINTAINED OR DEMOLISHED ON ANY LOT, SITE OR TRACT UNTIL BUILDING DRAWINGS, PLANS & SPECIFICATIONS (WHICH ARE REQUIRED TO HAVE BEEN PREPARED BY A LICENSED ARCHITECT FOR ALL CONSTRUCTION, RECONSTRUCTION, ALTERATION OR REMODELING) AND SUCH OTHER INFORMATION THE ARC MAY REASONABLY REQUIRE, INCLUDING, WITHOUT BEING LIMITED TO: COLOR SAMPLES, MATERIAL SAMPLES, AND MODELS - HAVE BEEN SUBMITTED AND APPROVED BY A MAJORITY OF THE ARC IN WRITING, NOR MAY THE SAME BE COMMENCED UNTIL THE ARC SHALL HAVE APPROVED AND ISSUED A PERMIT ALLOWING FOR SUCH IMPROVEMENTS.

THIS DRG HAS BEEN WRITTEN TO ACT IN CONCERT WITH THE RECORDED CC&RS (PROTECTIVE COVENANTS) OF THE SUN WEST RANCH. FOR YOUR CONVENIENCE, THE SECTIONS IN THE CC&RS THAT PERTAIN TO THE ARC CAN BE FOUND ON PAGES 12-22. THIS DRG SHALL TAKE PRECEDENCE ON MATTERS RELATIVE TO CONSTRUCTION ON THE RANCH.

### CORRESPONDENCE:

SUN WEST RANCH  
3 GILDRED LANE  
CAMERON, MT 59720  
PHONE 406-682-4831

## CONFLICTS:

BY FOLLOWING THE ARCHITECTURAL GUIDELINES CLOSELY, ENGAGING THE PROPER PROFESSIONALS AND ADHERING TO THE APPROVAL, REVIEW AND CONSTRUCTION SEQUENCE, THE DESIGN AND CONSTRUCTION OF YOUR NEW HOME WILL BE ASSURED TO RUN SMOOTHLY. HOWEVER, ON OCCASIONS PROBLEMS DO ARISE. THE PRIMARY TOOLS AVAILABLE FOR CAUSING RECTIFICATION OF CONDITIONS WHICH ARE OUTSIDE THE PARAMETERS OF THE ARCHITECTURAL REVIEW GUIDELINES AS SET FORTH AND THOSE OF THE PROTECTIVE COVENANTS SHALL BE THE ABILITY OF THE ARC TO ISSUE A STOP WORK ORDER TO THE CONTRACTOR OR DELAY ISSUE OF THE CERTIFICATE OF OCCUPANCY. BY SIGNING THE CONFORMANCE AGREEMENT, EACH HOME OWNER AGREES TO SUBMIT TO THE ARC'S STOP WORK ORDER UNTIL THE CONDITION OF NON-COMPLIANCE CAN BE RECTIFIED OR ADDRESSED. THE ARC, ITS MEMBERS AND SUN WEST PROPERTY OWNERS SHALL BE HELD HARMLESS TO ANY INCURRED COST OR DAMAGES SUBSEQUENT TO THESE ACTIONS. ALL COSTS SHALL BE THE RESPONSIBILITY OF THE HOME OWNER.

## VARIANCE/DEVIATIONS

VARIANCES MAY BE GRANTED IN SOME CIRCUMSTANCES (INCLUDING, BUT NOT LIMITED TO, TOPOGRAPHY, NATURAL OBSTRUCTIONS, AESTHETIC OR ENVIRONMENTAL CONSIDERATIONS) WHEN DEVIATIONS MAY BE REQUIRED. THE ARC SHALL HAVE THE POWER TO GRANT A VARIANCE FROM STRICT COMPLIANCE IN SUCH CIRCUMSTANCES, SO LONG AS THE VARIANCE DOES NOT RESULT IN MATERIAL VIOLATION OF THE GUIDELINES. NO VARIANCE SHALL BE EFFECTIVE UNLESS IN WRITING.

## DEFINITIONS

UNLESS THE CONTEXT OTHERWISE SPECIFIES OR REQUIRES, USE OF THE FOLLOWING WORDS OR PHRASES WHEN USED IN THESE DESIGN GUIDELINES SHALL HAVE THE FOLLOWING MEANINGS:

**APPLICANT** - AN OWNER OR OWNER'S REPRESENTATIVE WHO IS AUTHORIZED TO REPRESENT AND/OR ACT UPON ANY APPLICATION, MATERIALS OR SUBMITTAL ON BEHALF OF THE OWNER.

**ARCHITECT** - A PERSON LICENSED TO PRACTICE PROFESSIONALLY AND WHO IS REQUIRED FOR THE DESIGN OF ALL BUILDINGS.

**ARCHITECTURAL REVIEW COMMITTEE (ARC)** - THE COMMITTEE APPOINTED BY THE DECLARANT OR THE SWR BOARD AS DESCRIBED IN THE CC&RS AS THE ARC. THE ARC SHALL REVIEW AND EITHER APPROVE OR DISAPPROVE PROPOSALS AND/OR PLANS AND SPECIFICATIONS FOR ALL CONSTRUCTION ACTIVITY WITHIN SUN WEST RANCH.

**AVERAGE NATURAL GRADE** - SHALL BE ESTABLISHED IN RELATIVE TOPOGRAPHICAL HEIGHT AS THE AVERAGE BETWEEN THE HIGHEST AND LOWEST CONTOURS WITHIN THE APPROVED BUILDING ENVELOPE WHEN EVALUATED ON AN UNDISTURBED SITE. A REFERENCE POINT, NEARBY THE BUILDING ENVELOPE, INDICATING THE MAXIMUM ALLOWABLE HEIGHT FOR THE BUILDING BEING CONSTRUCTED BASED UPON THE AVERAGE NATURAL GRADE SHALL BE MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION TO BE USED BY THE ARC TO MONITOR COMPLIANCE. ALL OF THE ABOVE TO BE APPROVED BY THE ARC.

**BUILDER/CONTRACTOR** - A PERSON OR ENTITY ENGAGED BY AN OWNER FOR THE PURPOSE OF CONSTRUCTING ANY IMPROVEMENTS WITHIN THE PROJECT. THE "BUILDER/CONTRACTOR" AND "OWNER" MAY BE THE SAME PERSON OR ENTITY.

**BUILDING ENVELOPE** - THE AREA DEFINED BY THE ENCLOSED SPACE AND/OR SUPPORTED ROOF OVERHANG, (IE. FOOTPRINT OF THE ENTIRE STRUCTURE)

**BUILDING HEIGHT** - THE MAXIMUM BUILDING HEIGHT (EXCLUSIVE OF

CHIMNEYS) SHALL NOT EXCEED THE HEIGHT SET FORTH IN THE TABLE ON pg 18. THE HEIGHT SHALL BE CALCULATED AS A POINT OF THE AVERAGE NATURAL GRADE TO THE HIGHEST ROOF ELEMENT.

**CONFORMANCE AGREEMENT** - AN AGREEMENT BETWEEN THE CONTRACTOR/ OWNER AND SUN WEST RANCH STATING THAT NO CHANGES SHALL BE MADE DURING THE COURSE OF CONSTRUCTION TO ANY PLANS APPROVED BY THE ARC, UNLESS SUCH CHANGES HAVE BEEN APPROVED IN WRITING BY THE ARC.

**CONDITIONAL OCCUPANCY** - A PROVISIONAL CERTIFICATE OF OCCUPANCY PERMIT GRANTED BY THE ARC FOR OCCUPANCY OF A RESIDENCE DETERMINED TO BE SUBSTANTIALLY COMPLETE BY THE ARCH.

**CONSTRUCTION SITE** - A SITE UPON WHICH CONSTRUCTION ACTIVITY TAKES PLACE.

**CONSTRUCTION ACTIVITY** - ANY SITE DISTURBANCE, ADDITION, OR ALTERATION OF ANY BUILDING, LANDSCAPING OR ANY OTHER IMPROVEMENTS ON ANY SITE.

**CONSTRUCTION VEHICLE** - ANY CAR, TRUCK, TRACTOR, TRAILER, OR OTHER VEHICLE USED TO PERFORM ANY PART OF A CONSTRUCTION ACTIVITY OR TO TRANSPORT EQUIPMENT, SUPPLIES, OR WORKERS TO A CONSTRUCTION SITE.

**DESIGN REVIEW GUIDELINES** - THE REVIEW PROCEDURES, RESTRICTIONS, AND CONSTRUCTION REGULATIONS ADOPTED AND ENFORCED BY THE ARC AS SET FORTH IN THIS DOCUMENT AND AS AMENDED FROM TIME TO TIME BY THE ARC.

**EXCAVATION** - ANY DISTURBANCE OF THE SURFACE OF THE LAND (EXCEPT TO THE EXTENT REASONABLY NECESSARY FOR PLANTING OF APPROVED VEGETATION OR SOIL TESTING), INCLUDING ANY TRENCHING WHICH RESULTS IN THE REMOVAL OF EARTH, ROCK, OR OTHER SUBSTANCE OR ANY GRADING OF THE SURFACE.

**FILL** - ANY ADDITION OF EARTH, ROCK, OR OTHER MATERIALS TO THE SURFACE OF THE LAND, WHICH INCREASES OR CHANGES THE NATURAL ELEVATION OF SUCH SURFACE.

**HOME SITE** - THAT PORTION OF A LOT, AS DESCRIBED IN THE APPROVED SITE PLAN WHICH ENCOMPASSES THE AREA IN WHICH 90% OF ALL IMPROVEMENTS MUST BE BUILT.

**IMPROVEMENT** - ANY CHANGES, ALTERATIONS, OR ADDITIONS TO A LOT INCLUDING BUT NOT LIMITED TO ANY EXCAVATION, FILL, RESIDENCE OR BUILDINGS, OUTBUILDINGS, ROADS, DRIVEWAYS, PARKING AREAS, WALLS, RETAINING WALLS, STAIRS, PATIOS, COURTYARDS, LANDSCAPE PLANTINGS, FENCES, SIGNS, AND STRUCTURES OF ANY KIND.

**LIVABLE SPACE** - THOSE AREAS WHICH ARE ENCLOSED AND MECHANICALLY HEATED/COOLED FOR HUMAN OCCUPANCY. AREAS WHICH ARE NOT CONSIDERED LIVABLE ARE; GARAGE OR COVERED PARKING, UNFINISHED SPACES, MECHANICAL OR STORAGE SPACE.

**MINIMUM FLOOR AREA** - MINIMUM FLOOR AREA SHALL BE 2000 SQUARE FEET OF LIVABLE SPACE.

**OWNER** - THE RECORD HOLDER OF LEGAL TITLE TO FEE SIMPLE INTEREST IN A LOT. THE OWNER MAY ACT THROUGH AN AGENT PROVIDED THAT SUCH AGENT IS AUTHORIZED IN WRITING TO ACT IN SUCH CAPACITY.

**OWNER REPRESENTATIVE** - ANY ARCHITECT, CONTRACTOR, SUBCONTRACTOR, AGENT OR EMPLOYEE HIRED BY AN OWNER IN CONNECTION WITH ANY DESIGN OR CONSTRUCTION ACTIVITY.

**RESIDENCE** - THE BUILDING USED FOR RESIDENTIAL PURPOSES CONSTRUCTED ON A LOT, AND ANY IMPROVEMENTS CONSTRUCTED IN CONNECTION THEREWITH.

**RIDGE LINE** - A LINE OF DEMARCATION BETWEEN EARTH AND SKY OR FOREGROUND AND BACKGROUND WHICH REQUIRES ADDITIONAL DESIGN SENSITIVITY.

**SINGLE STORY** - A RESIDENCE WHERE NO LIVING OR SLEEPING SPACE EXISTS OVER THE PRIMARY LIVING LEVEL.

**SITE PLAN** - A DRAWING PREPARED DURING THE CONCEPTUAL DESIGN PHASE FOR EACH INDIVIDUAL LOT. EACH LOT DIAGRAM SPECIFIES THE REQUIRED BUILDING ENVELOPE AREA, SPECIFIC BUILDING HEIGHT, SUGGESTED DRIVEWAY ACCESS, VIEWS AND ANY ADDITIONAL SPECIAL RESTRICTIONS PERTINENT TO THE DEVELOPMENT OF THE LOT. THE SITE PLAN SHALL ALSO INCLUDE TOPOGRAPHIC CONTOURS AS DESCRIBED ON PAGE 3.

**SUBSTANTIALLY COMPLETE** - THE STAGE OF CONSTRUCTION ACTIVITY IS SUFFICIENTLY COMPLETE SO AS TO ALLOW THE OWNER TO LEGALLY OCCUPY THE STRUCTURE BY OBTAINING A PROVISIONAL CERTIFICATE OF OCCUPANCY FROM THE ARC AS DESCRIBED ON PAGE 11 OF THIS DRG AND A CERTIFICATE FROM THE COUNTY. NOT WITHSTANDING ANY OTHER PROVISIONS, CONSTRUCTION ACTIVITY SHALL NOT BE DEEMED TO BE SUBSTANTIALLY COMPLETE UNTIL ALL EXTERIOR FINISH WORK IS COMPLETE.

**TEMPORARY STRUCTURE** - ANY STRUCTURE ERECTED OR OTHERWISE INSTALLED AS A JOB OFFICE OR FOR THE PURPOSE OF STORING MATERIALS IN CONNECTION WITH CONSTRUCTION ACTIVITY.



## SUBMITTAL FORMS

|   |    |
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| CONFORMANCE AGREEMENT                                 | 54 |
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| COMPLETENESS / OCCUPANCY AGREEMENT                    | 64 |

SUN WEST RANCH  
APPLICATION FOR DESIGN / CONSTRUCTION APPROVAL

APPLICATION:

- Conceptual Design Application
- Preliminary Design Application
- Construction Document Application
- Occupancy

ONE TIME FEE:

- New Residence: \$5,000
- Modification to Residence: \$1,500
- Landscaping: \$250
- Recreational Facilities (Tennis Courts, etc.): \$250

Project Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Narrative describing modifications / deviations to previous submittal: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Architect's name: \_\_\_\_\_

Address: \_\_\_\_\_

E-mail: \_\_\_\_\_ Phone: \_\_\_\_\_

Owner's name: \_\_\_\_\_

Address: \_\_\_\_\_

E-mail: \_\_\_\_\_ Phone: \_\_\_\_\_

Contractor's name: \_\_\_\_\_

Address: \_\_\_\_\_

E-mail: \_\_\_\_\_ Phone: \_\_\_\_\_

Committee Use Only:

Date Initials

|                                  |       |       |
|----------------------------------|-------|-------|
| Design Review Fee:               | _____ | _____ |
| Conceptual Design Submittal:     | _____ | _____ |
| Preliminary Submittal:           | _____ | _____ |
| Construction Document Submittal: | _____ | _____ |
| Supplementary Submittal:         | _____ | _____ |
| Occupancy Permit:                | _____ | _____ |

SUN WEST RANCH  
CONFORMANCE AGREEMENT

I / We the Owner / Architect / Contractor do agree and acknowledge that any executed deviations or changes that are not as depicted and represented in the approved construction documents on file at the Sun West Ranch POA Office are expressly disallowed. If changes or modifications are identified by the Sun West Ranch Compliance Officer, construction on the project must be halted until a satisfactory resolution can be reached and accepted by the Sun West Ranch Architectural Review Committee.

Owner: \_\_\_\_\_ Lot #: \_\_\_\_\_

Architect: \_\_\_\_\_

Contractor: \_\_\_\_\_

Date: \_\_\_\_\_

Committee Use Only:

|                                   | <u>Date</u> | <u>Initials</u> |
|-----------------------------------|-------------|-----------------|
| Construction Deposit Received:    | _____       | _____           |
| Landscaping Bond:                 | _____       | _____           |
| Completeness/Occupancy Agreement: | _____       | _____           |



## Sun West Ranch

### Contractor rules and regulations

General Contractors must submit a list of all sub-contractors who will be working at the designated building site as well as their vehicle descriptions (including license plate numbers) to be kept on file in the POA office. Homeowners and general contractors are required to complete and sign this form and return it to the POA office prior to the onset of construction. **General Contractors are responsible for informing all subs that they must sign this document and submit such to the SWRPOA office prior to commencing work.** This document is available online at [www.sunwestranchpoa.com](http://www.sunwestranchpoa.com) (Registration is required to access these documents.) Any violation of these rules may result in the contractor or sub-contractor being denied access to the building site and Sun West Ranch as well as reported to fire or law enforcement agencies if applicable.

1. Contractor's working hours are 7:00 a.m. to 7:00 p.m. Monday through Saturday. SWR is closed to contractors on Sundays.
2. All contract workers must sign IN and OUT daily at the Sign-In station located just west of the Madison River bridge.
3. During bad weather, workers should call the SWRPOA office (406-682-4831) in advance of their arrival to inquire about access to their construction site. There may be times when extreme storm conditions may necessitate the closing of roads or the ranch entirely.
4. General contractor and sub-contractors shall provide proof of insurance including a minimum of \$1,000,000 of Liability coverage and \$500,000 Automobile Liability coverage naming Madison Valley Properties, Inc. and Sun West Ranch Property Owners Association (SWRPOA) as additional insured, as well as Workers Compensation Coverage of at least the minimum required by the State of Montana. Proof of insurance policies (certificates) need to be filed at the POA office (406-682-4831) prior to the commencement of any work performed at SWR.
5. All contract workers must be familiar with the Sun West Ranch Protective Covenants (CCJRS) and the SWR Design Guide and meet all requirements of these documents. These documents are available online at [www.sunwestranchpoa.com](http://www.sunwestranchpoa.com) (Registration is required to access these documents.), at the POA OFFICE, or by calling 406-682-4831.
6. Contractors (or their friends and family) are not allowed to hunt, fish, hike or recreate in any way on the ranch. Nor are they permitted to use the ranch to access any adjoining public lands. Penalty will result in a trespass fine from Madison County Sheriff Dept. Contractors are required to travel on the main roads, maintain the posed traffic speed of 25

miles per hour (or less) and only travel to and from the entrance gate to the job site. Failure to do so will result in speeding and trespassing fines by Madison County Sheriff Dept. Driving on Fire Roads is not allowed and will result in trespassing fines by Madison County Sheriff Dept. No vehicle is permitted to drive off the main roads except as necessary on the specific building site where the contractor is working.

7. Open burning is not allowed any time of the year. Contained burning in a 55-gallon drum (for warmth) is allowed during winter months by obtaining advanced approval from SWR management and by possessing a current burn permit provided by Madison County Rural Fire Department. Proof of burn permit must be filed at the POA office. **NO BURNING OF BUILDING MATERIAL WASTE IS PERMITTED.**
8. Only the job foreman can stay overnight in a trailer on the building site as a means of job security and to enforce compliance of these rules. The SWR manager must approve the location where the foreman's trailer is parked.
9. Firearms and fireworks are not allowed.
10. Vehicles must be parked so they do not block the roads.
11. Any road damage caused by construction vehicles must be repaired as requested by SWR Management.
12. No persons under the age of 18 years of age shall be permitted on the construction site.
13. Contractors are not allowed to bring dogs or any pets to any job site.
14. Music must be kept at a reasonable volume and only during construction hours.
15. Site must be maintained in a neat/tidy condition.
16. All food items or food trash that is kept on the site must be in bear proof containers.
17. A construction deposit of \$5,000.00 must be paid by the owner as specified in the SWR CCGRs before construction is allowed to begin.
18. Any exceptions to the above Contractor Rules and Regulations must be approved by the SWRPOA Board of Directors and the Architectural Review Committee (ARC).

I, \_\_\_\_\_ (property owner), of lot # \_\_\_\_\_, have read,

*(Please print name)*

understand and accept the above listed rules and regulations for all contract workers at Sun West Ranch.

\_\_\_\_\_  
*(Property owner signature)* Date: \_\_\_\_\_

I, \_\_\_\_\_ (*contractor or sub-contractor*), working at Lot # \_\_\_\_\_ read,  
*(Please print name)*  
understand and accept the above listed rules and regulations for all contract workers at Sun West Ranch.

\_\_\_\_\_ Date: \_\_\_\_\_  
*(Contractor or sub-contractor signature)*

The following sub-contractors will be working on the construction project at lot # \_\_\_\_\_:

*It is each contractor's responsibility to update this list and file it with the POA office when new subs are added throughout the course of construction.*

| <i>Name</i> | <i>Vehicle Description / License plate #</i> |
|-------------|--|
| _____       | _____  |
| _____       | _____  |
| _____       | _____  |
| _____       | _____  |
| _____       | _____  |
| _____       | _____  |
| _____       | _____  |
| _____       | _____  |
| _____       | _____  |
| _____       | _____  |
| _____       | _____  |
| _____       | _____  |
| _____       | _____  |
| _____       | _____  |
| _____       | _____  |
| _____       | _____  |
| _____       | _____  |

SUN WEST RANCH  
APPLICATION FOR VARIANCE

Project

Date: \_\_\_\_\_

Owner: \_\_\_\_\_

Lot: \_\_\_\_\_

Section of Design Review Guideline which variance is requested:

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Variance Request - Narrative:

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The variance will be reviewed by the following criteria:

- |                          |                          |                          |                          |   |
|--------------------------|--------------------------|--------------------------|--------------------------|---|
| Y.                       | <input type="checkbox"/> | N.                       | <input type="checkbox"/> | Does the variance adversely impact adjoining neighbors' view shed / drainage / access / property? |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Have neighbors been allowed to review variance request?   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Does the ARC deem the approval to be in the best interest of the Sun West Ranch?                  |

SUN WEST RANCH  
TREE REMOVAL APPLICATION

Date: \_\_\_\_\_  
Owner: \_\_\_\_\_  
\_\_\_\_\_  
Lot: \_\_\_\_\_  
Tree Removal Contractor: \_\_\_\_\_

For proposed tree removal:

- Bright pink flagging with a single band on all trees greater than 16" in diameter within the Building Envelope.
- Bright green flagging with a double band on all trees greater than 8" in diameter within the Building Envelope.
- Where removal of prominent clusters or groves is proposed, wrap flagging tape around entire group. For trees to be saved within disturbed areas, wrap white flagging on all trees with handwritten note "save". Prior to the site inspection, the Owner is to submit plans, details, and specifications for proposed tree protection and maintenance during construction and permanent improvements such as tree wells, aeration systems, etc., for tree to be saved within disturbed areas.

The ARC staff will review the flagging on site and the plans with the Owner and will notify the Owner of its findings.

Flagging on the trees is to be changed as directed by the ARC and left in place on the trees to be saved for the duration of the construction process.

Sun West Ranch Architectural Review Committee:

Sign off: \_\_\_\_\_ Date: \_\_\_\_\_

Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



PROVISIONAL CERTIFICATE OF OCCUPANCY PERMIT AGREEMENT

This Provisional Certificate of Occupancy Permit Agreement (the "Agreement") is effective this \_\_\_ day of \_\_\_\_\_, 2011, by and between the Architectural Review Committee of the Sun West Ranch Property Owners' Association (the "ARC") and \_\_\_\_\_ and \_\_\_\_\_ (collectively, "Owner").

R E C I T A L S:

The background of this Agreement is as follows:

- A. Owner purchased a lot and is constructing a residence (the "Residence") in Sun West Ranch.
- B. The construction of the Residence has reached substantial completion.
- C. The following items of construction including landscaping must be completed (the "Unfinished Work"):
  - (1) \_\_\_\_\_
  - (2) \_\_\_\_\_
  - (3) \_\_\_\_\_
  - (4) \_\_\_\_\_
- D. Owner is not able to complete the Unfinished Work at this time because of weather conditions.
- E. Owner requests the ARC to issue a provisional certificate of occupancy permit ("Provisional Permit") to Owner to allow Owner to occupy the Residence subject to Owner's full compliance with the terms and conditions of this Agreement.
- F. The ARC has reviewed the Residence and confirms that the construction of the Residence meets design guidelines except for the Unfinished Work.
- G. The ARC desires to issue the Provisional Permit to Owner pursuant to the terms and conditions of this Agreement.

## AGREEMENT

NOW, THEREFORE, in consideration of the mutual covenants stated herein and other good and valuable consideration the receipt and adequacy of which is acknowledged by the parties, the parties agree as follows:

### 1. Incorporation of Recitals

The Recitals stated above are incorporated in this Agreement as if set out herein verbatim.

### 2. Payment of Completion Amount

Owner agrees to either (a) establish a bank account in the name of the ARC (the "Account") and deposit into the Account funds in the amount estimated to complete the Unfinished Work (the "Completion Amount"); or (b) in the event Owner has a construction loan on the Residence, Owner will provide a letter of firm commitment from the construction lender (the "Lender") guaranteeing that funds in the amount of the Completion Amount are available to pay for the completion of the Unfinished Work and that such funds will be (i) set aside and earmarked for the sole purpose to pay for the completion of the Unfinished Work and (ii) payable to Owner's contractor on the Residence (the "Contractor") upon authorization to the Lender from the ARC. A form of letter to be signed by the Lender is attached to this Agreement.

In the event that the Account is established, the ARC shall have the sole authority to withdraw funds from the Account to pay for the completion of the Unfinished Account.

Provided, however, upon completion of the Unfinished Work, Owner shall notify the ARC and the ARC shall either (i) withdraw the funds from the Account to pay for the completion of the Unfinished Work; or (ii) authorize the Lender to pay the Contractor for the completion of the Unfinished Work. In the event that Owner fails to notify the ARC that the Unfinished Work is completed, the ARC may make inquiry of the Contractor and, upon completion of the Unfinished Work, the ARC shall either (i) withdraw the funds from the Account to pay for the completion of the Unfinished Work; or (ii) authorize the Lender to pay

the Contractor for the completion of the Unfinished Work. In either event, the ARC will notify Owner that the funds have been (i) withdrawn from the Account to pay for the Unfinished Work or (ii) paid by the Lender to the Contractor to pay for the Unfinished Work. Owner shall be responsible to pay for costs in excess of the Completion Amount.

The Completion Amount shall be agreed between Owner and the ARC and based upon reasonable estimates/bids provided the Contractor.

**3. Time to Complete Unfinished Work**

Owner shall complete the Unfinished Work on or before \_\_\_\_\_ (the "Completion Date"). If the Unfinished Work is not completed by the Completion Date, the ARC has the right to withdraw the Completion Amount from the Account and use the funds to complete the Unfinished Work. In the event of a construction loan, the ARC has the right to direct the Lender to pay the Completion Amount to finish the Unfinished Work.

**4. Provisional Permit**

Subject to the terms and conditions of this Agreement, the ARC hereby grants a Provisional Permit to Owner to occupy the Residence. Upon completion of the Unfinished Work, the ARC will issue a Certificate of Occupancy to the Owner for the Residence.

**5. Entire Agreement**

This Agreement constitutes the entire agreement between the parties relating to the subject matter hereof, and it may be amended at any time only by mutual consent of the parties, provided that before any amendment shall be operative or valid, it shall be reduced to writing and signed by the ARC and Owner. Any amendments shall be serially numbered.

**6. Attorney's Fees**

In the event of any dispute between the parties, the prevailing party in any dispute instituted under this Agreement shall be entitled to recover from the other party its costs and expenses thereof, including, specifically, its reasonable attorney's fees.

7. No Assignment

Neither party may assign its rights or obligations under this Agreement to a third party without the prior written consent of the other party which consent shall not be unreasonably withheld.

IN WITNESS WHEREOF, the parties have executed this Agreement the day and year first above written.

ARCHITECTURAL REVIEW COMMITTEE  
OF THE SUN WEST RANCH PROPERTY  
OWNERS' ASSOCIATION

By \_\_\_\_\_

Its \_\_\_\_\_

Date \_\_\_\_\_

OWNER

By \_\_\_\_\_

Its \_\_\_\_\_

Date \_\_\_\_\_

SUN WEST RANCH  
COMPLETENESS / OCCUPANCY AGREEMENT

Date: \_\_\_\_\_

Lot: \_\_\_\_\_

I the Owner of the afore designated lot do acknowledge that at no time until an approved occupancy permit or provisional occupancy permit has been issued by the Sun West Architectural Review Committee, shall I occupy, camp, reside on or in any structure under construction.

Owner: \_\_\_\_\_  
\_\_\_\_\_